

1201 ELMWOOD AVENUE
DETAILED PROJECT DESCRIPTION for
INCREMENTAL SITE PLAN APPLICATION

August 13, 2021

293 A Alden Road LLC is the owner of 1201 Elmwood Avenue, site of the former Rochester Psychiatric Center Hospital, and is applying for Incremental Site Plan Approval for a primary roadway for this property.

This Application for Site Plan Review is for the primary roadway improvements that will service the subject property.

The primary roadway for which Incremental Site Plan Review is requested, will include the following as shown on Bergmann Associates drawing C090:

- New private internal roadway (“Elmwood Private Drive”) connection from the existing signalized Elmwood Avenue-Azalea Road intersection to the proposed Science Parkway Private Drive Easement.
- New private internal roadway (“Science Parkway Private Drive Easement”) connection from Elmwood Private Drive to the existing public road cul-de-sac at Science Parkway
- New private internal roadway (“SJH Cross Access Private Drive Easement”) connection from Elmwood Private Drive, to the existing Cross Access Easement at St. John Brickstone
- New private internal roadway (“Gateway Road Private Drive Easement”) connection from Elmwood Private Drive to existing private Gateway Road via the proposed Science Parkway Private Drive Easement

The primary roadway will service the City of Rochester portion of the subject property as well as the Town of Brighton portion of the subject property.

This property consists of 17.67 acres in the City of Rochester, and 9.88 acres in the Town of Brighton. The City portion of the property was rezoned to Planned Development District # 18-1201 Elmwood Avenue August 15, 2017. The Town of Brighton portion of the property is under review for Incentive rezoning to RHD-2.

The City of Rochester acted as Lead Agency for SEQR determination of a Negative Declaration prior to the City’s rezoning.

Since the time of the City’s rezoning, the Brighton portion of the property has been contracted for purchase by Home Leasing LLC for development of affordable housing townhomes and apartments. The Brighton portion of the property is exclusively accessed through the City portion of the property, and will be serviced by the primary roadway and utilities existing and proposed within the City of Rochester portion of the property.

Due to COVID-19 impacts, lending and marketing environments, 293 A Alden Road LLC has delayed development of the Rochester portion of the property until the lending and marketing environments improve and stabilize.

Home Leasing LLC is prepared to complete the rezoning of the Brighton portion of the property at this time, and once rezoned, to proceed with securing financing, and to move forward with the

development of the Brighton portion of the property. Rezoning and financing for the Brighton portion of the property will require City of Rochester approval of the primary roadway within the City portion of the site necessary to serve the Brighton affordable housing development.

In order to accommodate Home Leasing's financing requirement, 293 A Alden Road LLC is seeking Incremental Site Plan Approval for the primary roadway within the City of Rochester portion of the property.

Home Leasing's proposed design for the development of the Brighton portion of the subject property primarily differs from the 2017 design shown at the time of the City's rezoning as follows:

- 2021 design deletes the proposed 9,600 square foot commercial building at the northeast corner of the Brighton portion of the property
- 2021 design increases the total number of proposed townhomes from 22 to 39

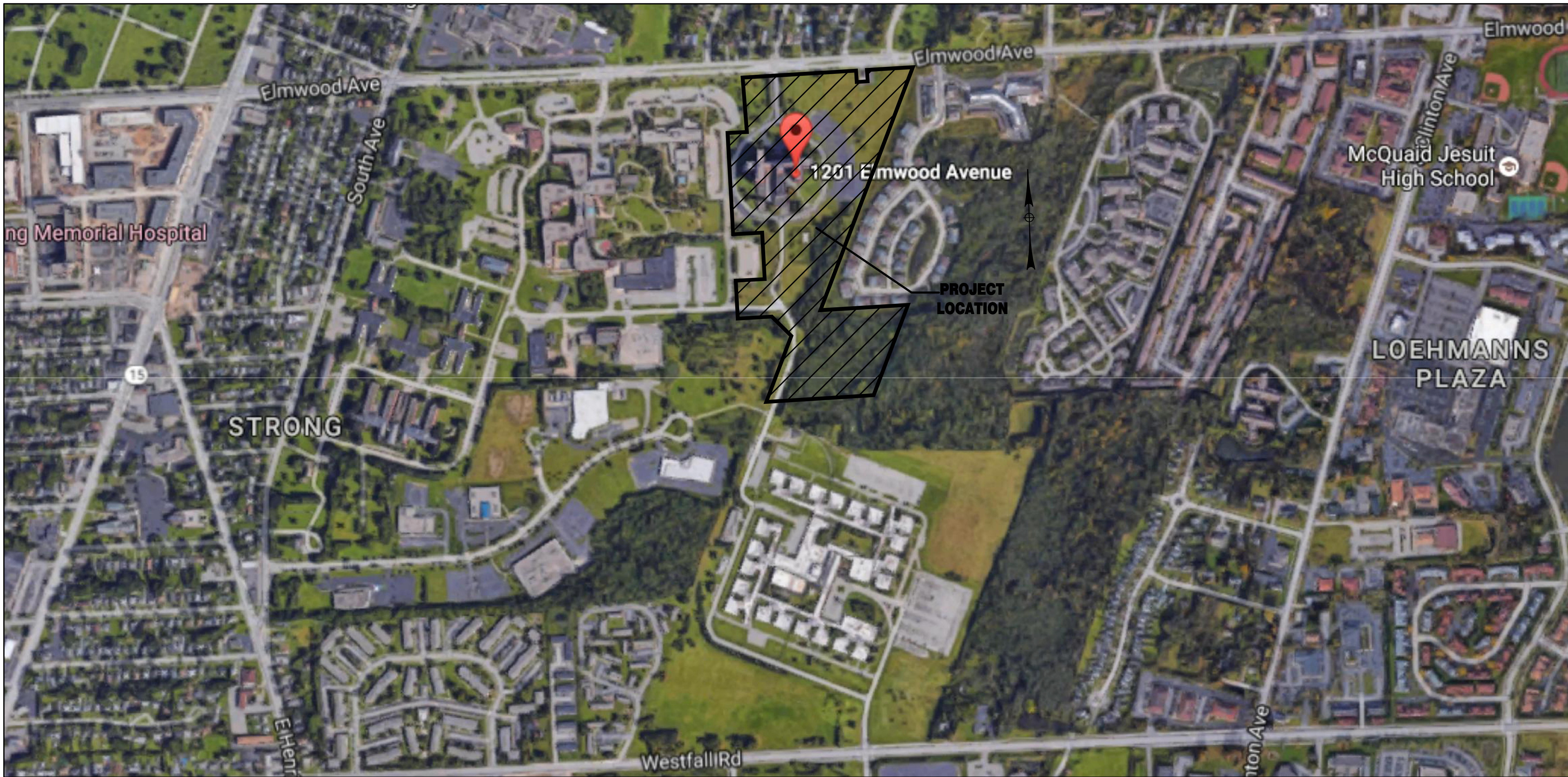
The traffic impacts resulting from these proposed differences in the Brighton portion of the site have been evaluated by SRF Associates and stated in their attached Draft Trip Generation Comparison Assessment letter dated July 22, 2021.

The proposed primary roadway design is consistent with the design shown on the drawings submitted as part of the application for rezoning approved by the City of Rochester in August 2017, and will not alter the 2017 values submitted as part of the Environmental Assessment (long form) with addenda.

Included in the proposed primary roadway improvements will be the roadway pavement and striping, curbing, sidewalks, street lighting, landscaping, traffic control signage, grading/erosion control, storm drainage, water and sanitary primary services.

PROPOSED MIXED USE DEVELOPMENT

1201 Elmwood Avenue
Rochester, NY
Monroe County



LOCATION MAP
NO SCALE

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NOT APPROVED
THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING
AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL
APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR
CONSTRUCTION PURPOSES.

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August 12, 2021

CV-1

Elmwood Avenue
Rochester, NY 14620

349 West Commercial St.
East Rochester, NY 14445

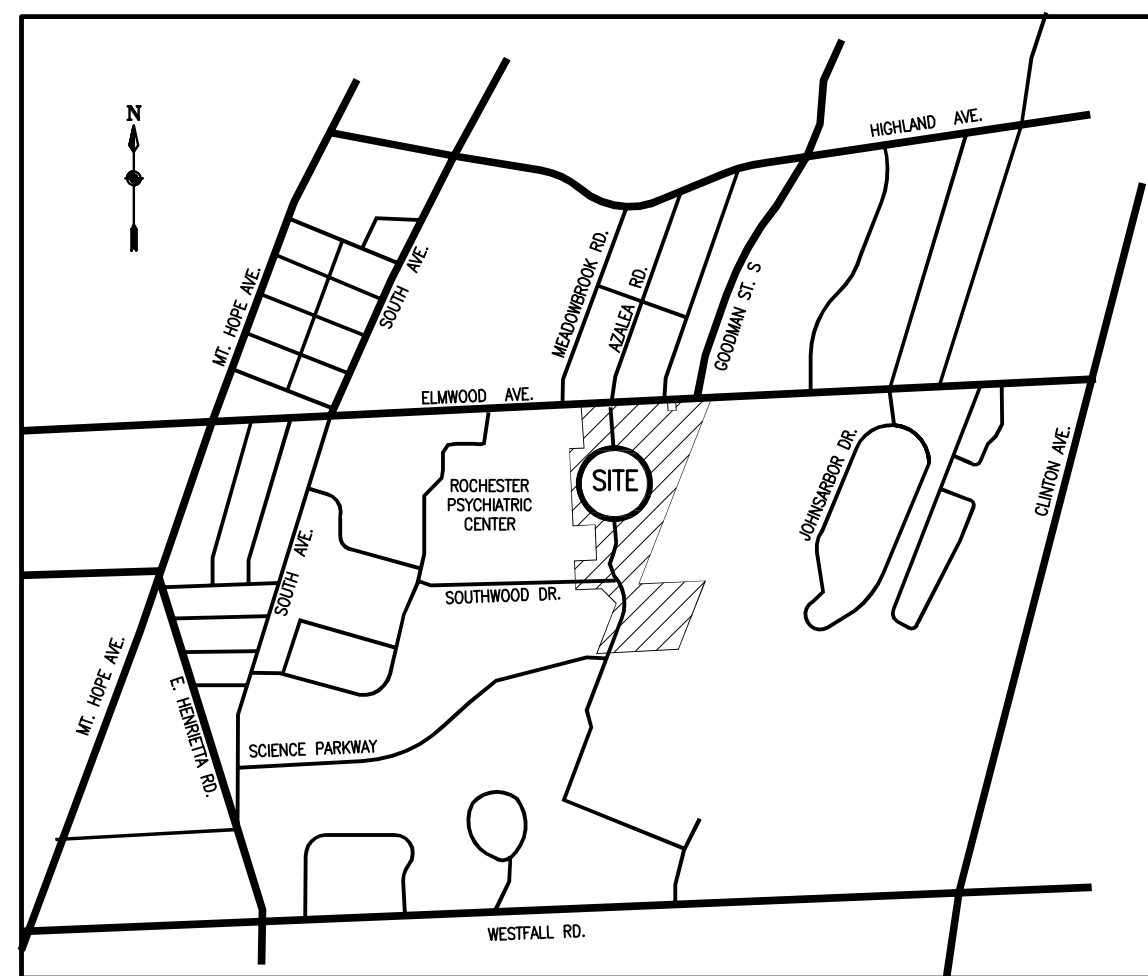
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REVISIONS			
NO.	DATE	DESCRIPTION	REV. CKD
1	4/21/21	ADDED EASEMENTS	

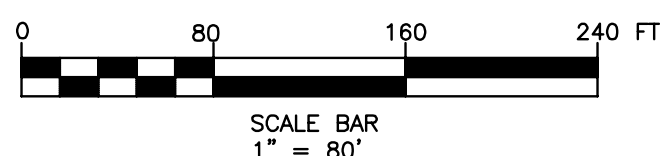


SITE LOCATION MAP
NOT TO SCALE



- LEGEND

- | | |
|--------------------------|--------------------------------|
| MONUMENT | UTILITY FLAG |
| NAL | WETLAND FLAG |
| REBAR | INSTRANT |
| PIPE | WATER VALE |
| DRILL HOLE | POST INDICATOR VALVE |
| CONFIDENT BUSH | CLEAN OUT |
| CONFIDENT BUSH | CATCH BASIN |
| DECIDUOUS BUSH | DRAINAGE MANHOLE |
| DECIDUOUS TREE | INLET DRAINAGE MANHOLE |
| ONE POST SIGN | SANITARY MANHOLE |
| BOLLARD/POST | ELECTRIC MANHOLE |
| VENT PIPE | TELEPHONE MANHOLE |
| ELECTRICAL BOX | UNKNOWN MANHOLE |
| ELECTRICAL PULL BOX | EDGE OF WOODS |
| ELECTRIC TRANSFORMER | CENTRELING OF SWALE/DITCH |
| WATER VALVE | EDGE OF WETLANDS |
| GAS METER | CHAIN LINK FENCE |
| UNDERGROUND WATER LINE | GUARDRAIL |
| UNDERGROUND GAS LINE | STORM/DRAINAGE LINE |
| UNDERGROUND TELEPHONE | UNDERGROUND WATER LINE |
| UNDERGROUND ELECTRIC | UNDERGROUND GAS LINE |
| UNDERGROUND FIBER OPTIC | UNDERGROUND TELEPHONE |
| UNDERGROUND CABLE | UNDERGROUND ELECTRIC |
| UNDERGROUND CABLE | UNDERGROUND FIBER OPTIC |
| UNDERGROUND CABLE | UNDERGROUND CABLE |
| UTILITY POLE | OVERHEAD UTILITY CABLE |
| CORNER POLE | WALKWAY (5' INTERVAL) |
| CHURN WIRE | MEAN CONTOUR (1" INTERVAL) |
| SIGNAL POLE | PARCEL BOUNDARY LINE |
| TRAFFIC CONTROL HANDHOLE | ADJOINING PARCEL BOUNDARY LINE |
| RECTANGULAR HANDHOLE | EASEMENT LINE |
| ROUND HANDHOLE | RIGHT OF WAY LINE |
| SQUARE HANDHOLE | |



REFERENCES

- 1) MAP ENTITLED "ALTA/CADLAND TITLE BOUNDARY SURVEY OF LOT 1 OF ROCHESTER PSYCHIATRIC", DWG. NO. 05-129 PREPARED BY C.T. MALE ASSOCIATES, P.C., DATED DEC. 10, 2004, SIGNED 4/13/2007.
- 2) BOOK 10860 OF DEEDS, PAGE 347.
- 3) MAP ENTITLED "PROPOSED EASEMENTS TO BE GRANTED TO THE PEOPLE OF THE STATE OF NEW YORK ROCHESTER PSYCHIATRIC CENTER THROUGH THE LANDS NOW OR FORMERLY OF 293 A ALDEN ROAD LLC", PREPARED BY C.T. MALE ASSOCIATES, P.C., DATED 02/20/2004, LAST REVISED 12/07/2020, DRAWING NO. 04-049, SHEET 1 OF 2.
- 4) MAP ENTITLED "PROPOSED WATER LINE EASEMENT TO BE GRANTED TO THE PEOPLE OF THE STATE OF NEW YORK ROCHESTER PSYCHIATRIC CENTER THROUGH THE LANDS NOW OR FORMERLY OF 293 A ALDEN ROAD LLC", PREPARED BY C.T. MALE ASSOCIATES, P.C., DATED 04/21/2004, LAST REVISED 12/07/2020, DRAWING NO. 04-049, SHEET 2 OF 2.

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Note:
Unauthorized alteration or addition to this drawing is a violation of
the New York State Education Law Article 145, Section 7209.

Project Manager:	Checked by:
B. Burri	B. Burri
Designed by:	Drawn by:
T. Bolt	T. Bolt
Date Issued:	Scale:
August 10, 2021	
Project Number:	
014678.00	

EXISTING CONDITIONS

Drawing Number

EX-1

DEMOLITION NOTES:

1. ALL REQUIRED DEMOLITION PERMITS MUST BE OBTAINED FROM ALL REQUIRED AGENCIES PRIOR TO COMMENCEMENT OF WORK.
2. ANY ASBESTOS REMOVAL MUST BE DONE BY A CERTIFIED ASBESTOS REMOVAL CONTRACTOR.
3. ALL UTILITY COMPANIES MUST BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF DEMOLITION.
4. PROPER FENCING OR PUBLIC PROTECTION DEVICES MUST BE CONSTRUCTED AND MAINTAINED AROUND THE PERIMETER OF THE SITE AT ALL TIMES DURING DEMOLITION PHASE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL DUST, DIRT, AND DEBRIS DURING DEMOLITION AND CONSTRUCTION PHASES.
6. PIPES TO BE ABANDONED IN PLACE SHALL BE FILLED WITH FLOWABLE FILL.
7. THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UFPPO) AT LEAST (3) FULL WORKING DAYS PRIOR TO THE START OF THE DEMOLITION PHASE (900) 962-7962. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ANY AND ALL UTILITY COMPANIES THAT ARE NOT A MEMBER OF THE "DIG SAFELY NEW YORK" PROGRAM. THE CONTRACTOR SHALL PAY FOR THE REPAIR OR REPLACEMENT IF ANY DAMAGED UTILITY LINES OR LOSS OF SERVICE. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
8. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UTILITIES AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
9. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
10. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
11. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.

SITE PLAN NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
2. CONTRACTOR SHALL MATCH PROPOSED CURBS, CONCRETE, CONCRETE CUTTER, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
3. CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF THE CITY OF ROCHESTER.
4. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT, ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
6. GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS.
7. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF ROCHESTER, MONROE COUNTY, AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CODES AND O.S.H.A. STANDARDS.
8. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, STRUCTURES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START. AREAS OF THE EXISTING PUBLIC SIDEWALK OR CURB THAT ARE DAMAGED OR OTHERWISE NEGATIVELY IMPACTED BY ANY PORTION OF THE WORK ARE TO BE REPLACED. REPLACEMENT OF SIDEWALK AREAS IS TO BE TO THE NEAREST JOINT, JOINT AND IN FULL FLAG SEGMENTS ONLY. REPLACEMENT OF CURB IS TO BE TO THE NEAREST JOINT. THERE IS TO BE NO SAW CUTTING OR PARTIAL REPLACEMENT OF THE EXISTING SIDEWALK OR CURB TO ACCOMMODATE ANY OF THE WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
9. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3,000 psi, OR AS NOTED.
10. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE TOPSOIL TO A COMPACTED DEPTH OF 4 INCHES, SEED, MULCH AND WATER.
11. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND FINAL CONNECTION OF SERVICES.
12. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962.
13. HIGHWAY DRAINAGE ALONG ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
15. THE CONTRACTOR SHALL CONSULT THE DESIGN ENGINEER BEFORE DEVIATING FROM THESE PLANS.
16. IF SUSPICIOUS AND/OR HAZARDOUS MATERIAL IS ENCOUNTERED DURING DEMOLITION/CONSTRUCTION, ALL WORK SHALL STOP AND THE DEPARTMENT OF HEALTH AND THE NEW YORK STATE DEPARTMENT OF CONSERVATION SHALL BE NOTIFIED IMMEDIATELY. WORK SHALL NOT RESUME UNTIL THE DEVELOPER HAS OUTLINED APPROPRIATE ACTION FOR DEALING WITH THE WASTE MATERIAL AND THE DEVELOPMENT PLANS ARE MODIFIED AS MAY BE NECESSARY.
17. EXCAVATED WASTE MATERIAL REMOVED FROM THE SITE SHALL BE PLACED AT A LOCATION ACCEPTABLE TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.
18. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN A MINIMUM OF 1' OF COVER OVER ALL EXISTING AND NEW STORM AND SANITARY PIPES DURING ALL CONSTRUCTION OPERATIONS.
19. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE. (NO SEPARATE PAYMENT).
20. UNLESS COVERED BY THE CONTRACT SPECIFICATIONS OR AS NOTED ON THE PLANS, ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER AND MONROE COUNTY PURE WATERS STANDARD SPECIFICATIONS.
21. ALL PAVEMENT CUTS ARE TO BE FULL DEPTH, EXTENDING THROUGH THE PAVEMENT BASE COURSE.
22. RECYCLED MATERIALS, PULVERIZED OR RECYCLED CONCRETE AGGREGATE AND BRICK, AND RECLAIMED ASPHALT PAVEMENT ARE UNACCEPTABLE MATERIALS FOR USE AS TRENCH BACKFILL, AND FOR PAVEMENT SUBBASE COURSES.

UTILITY PLAN NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
3. WHERE WATER CROSSES BELOW STORM OR SANITARY, EITHER:
A. MAINTAIN MINIMUM 18" VERTICAL SEPARATION;
B. CONSTRUCT SEWER USING WATER MAIN STANDARD PIPE AND TESTING SAID PIPE AT 150 PSI, OR
C. ENCASE WATER OR SEWER FOR TWO FULL LENGTHS OF WATER PIPE.
4. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.)
5. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
6. TOPS OF EXISTING MANHOLES AND WATER VALVE BOXES SHALL BE ADJUSTED AS NECESSARY TO BE FLUSH WITH FINAL PAVEMENT ELEVATIONS.
7. ALL CONCRETE FOR ENCASEMENTS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3,000 P.S.I. UNLESS NOTED OTHERWISE.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE CITY OF ROCHESTER AND MONROE COUNTY PURE WATERS WITH REGARDS TO LATERALS AND INSTALLATION OF THE SEWER LINES.
9. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
10. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS AND NOTIFY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH TOWN UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHORING, BENCHING, AND OTHER MEANS OF PROTECTION, THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
13. REFER TO BUILDING ELECTRICAL PLANS FOR SITE LIGHTING ELECTRICAL CIRCUITRY DESIGN AND LAYOUT.
14. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER ON ALL WATER LINES IN GRASS AREAS, AND MIN. 6'-0" COVER PAVEMENT AREAS.
15. ALL ABANDONED WATER AND SEWER LINES TO BE ABANDONED PER THE CITY OF ROCHESTER AND MONROE COUNTY PURE WATERS SPECIFICATIONS.
16. BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY WORK WITHIN FIVE FEET OF BUILDING.
17. CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED & EXISTING PIPE INVERT ELEVATIONS BEFORE ORDERING MANHOLE AND CATCH BASIN STRUCTURES.
18. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.
19. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
20. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THIS MAP HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS, THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES FIELD STAKED BEFORE STARTING WORK BY CALLING 1-800-962-7962 A MINIMUM OF 48 HOURS BEFORE COMMENCEMENT OF WORK TO HAVE ALL EXISTING UTILITIES FIELD STAKED OR MARKED WITHIN THE PROJECT AREA.
21. A LICENSED PLUMBER WILL BE RESPONSIBLE FOR PROVIDING ALL THE PREPARATION TOTAP THE 8" RWW MAIN. THE RWW WILL PERFORM THE WET TAP. THE TAPPING FEEWILL BE \$500. A DEPOSIT OF \$2,200 TO ABANDON BOTH EXISTING SERVICES WILL BE REQUIRED. IF THE PERMIT OFFICE ALLOWS, THE LICENSED PLUMBER HAS THE OPTION TO ABANDON THE EXISTING SERVICES AND THE RWW WILL REFUND THE DEPOSIT OTHERWISE, THE ROCHESTER WATER BUREAU WILL KEEP THE DEPOSIT AND PERFORM THE ABANDONMENTS. ALL FEES MENTIONED ABOVE WILL BE PAID AT THE PERMIT OFFICE,ALONG WITH THE METER FEES (BASED ON METER SIZES),ROAD CUT FEES AND ROW FEES (BASED ON SQUARE FOOTAGE).
22. AS DIRECTED BY MONROE COUNTY PURE WATERS REFER TO MCPW NOTE 7, CONTRACTOR TO DETERMINE IF THE EXISTING LATERAL CAN BE UTILIZED FOR CONNECTION AND REPAIR IF NECESSARY.

MCPW - ROCHESTER PURE WATERS DISTRICT SEWER NOTES:

1. THIS PLAN REQUIRES APPROVAL AND ISSUANCE OF A PLUMBING PERMIT FROM THE CITY OF ROCHESTER PLUMBING DEPARTMENT.
 2. PRIOR TO CONSTRUCTION, A SEWER CONNECTION PERMIT MUST BE OBTAINED FROM THOMASBORO COUNTY PURE WATERS (MCPW) PERMIT OFFICE AT 444 EAST HENRIETTA ROAD, BUILDING 15, ROCHESTER, NEW YORK 14600-4443, PHONE #753-7600 (OPT. 5).
 3. SEWER CONNECTION PERMIT(S) CAN ONLY BE ISSUED TO A PLUMBER LICENSED IN THE CITY OF ROCHESTER AND WHO IS FULLY INSURED AND BONDED IN THE ROCHESTER PURE WATERS DISTRICT (RPWD). PAYMENT (CHECK OR MONEY ORDER TO RPWD) OF ALL APPLICABLE PERMIT FEES MUST BE PAID PRIOR TO PERMIT ISSUANCE.
 4. THE RPWD SHALL BE NOTIFIED FORTY-EIGHT HOURS IN ADVANCE OF A CONNECTION OR TAP. (753-7600 (OPT. 5)). THE RPWD SHALL MAKE ALL FOUR AND SIX INCH DIAMETER TAPS TO THE RPWD SEWERS.
 5. SANITARY/STORM/COMBINATION SEWER LATERAL(S) AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE ROCHESTER PURE WATERS DISTRICT.
 6. CLEAOUTS SHALL BE INSTALLED ON ALL 4" AND 6" DIAMETER SEWER LATERALS AT THE RIGHT-OF-WAY (ROW) LINE, OR THE SEWER EASEMENT LINE WHERE APPLICABLE. (THE SEWER EASEMENT, RIGHT-OF-WAY AND/OR PROPERTY LINE MUST BE STAKED OUT PRIOR TO INSTALLATION OF LOT LINE CLEAOUTS TO ENSURE PROPER LOCATION OF THE CLEAOUTS.(REFER TO CLEAOUT DETAIL FOR PROPER INSTALLATION)).
 7. IF AN EXISTING LATERAL IS TO BE UTILIZED, THE PLUMBER/CONTRACTOR MUST ENSURE THAT THE LATERAL IS IN GOOD CONDITION AND IS FREE OF DEBRIS (DIRT, MUD, STONE, ROOTS, ETC.) VIA A VIDEO TAPED INSPECTION PERFORMED BY THE PLUMBER/CONTRACTOR OR HIS/HER/THEIR AGENT. PRIOR TO CONNECTION, THE VIDEO TAPED INSPECTION OF THE EXISTING LATERAL MUST BE PRESENTED TO THE DISTRICT FOR REVIEW AND APPROVAL. TO UTILIZE AN EXISTING LATERAL, IT IS THE RESPONSIBILITY OF THE BUILDER OR THEIR AGENT TO CLEAN AND/OR REPLACE THE PIPE/LATERAL AS NEEDED.
 8. ANY NEW PORTION OF A SEWER LATERAL INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY AND SEWER EASEMENT MUST BE SDR-21 PVC.
 9. ANY EXISTING LATERALS NOT UTILIZED MUST BE ABANDONED TO MONROE COUNTY PURE WATERS DISTRICT STANDARDS AT THE PROPERTY LINE OR, WHERE APPLICABLE, THE SEWER EASEMENT LINE.
 - 10.FLOOR DRAINS IF CONSTRUCTED, SHALL BE CONNECTED TO THE SANITARY/COMBINATION SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION/FOOTER DRAINS. NOTE: ALL DISCHARGES TO THE SANITARY/COMBINATION SEWER MUST COMPLY WITH THE EFFLUENT LIMITS OF THE LOCAL AND/OR MONROE COUNTY SEWER USE LAW.
 - 11.ANY PORTION OF A SEWER/LATERAL WITH LESS THAN FOUR-FEET (4') OF COVER WILL REQUIRE CONCRETE ENCASMENT. SEWERS/LATERALS WITH LESS THAN THREE-FEET (3') OF COVER ARE NOT ALLOWED.
 - 12.THE REQUIREMENTS OF THE HIGHWAY/PROPERTY OWNER SHALL BE ADHERED TO FOR ITEMS ABOVE THE PIPE BEDDING, INCLUDING, BUT NOT LIMITED TO, MAINTENANCE AND PROTECTION OF TRAFFIC, BACKFILL MATERIAL AND SURFACE RESTORATION.
 - 13.CONTRACTOR TO CONFIRM EXISTING INVERT BEFORE CONSTRUCTION OF PROPOSED STORM SEWER SYSTEM.
- WASTE/HAZARDOUS MATERIAL PRACTICES:
1. WHENEVER POSSIBLE COVERED TRASH CONTAINERS SHOULD BE USED.
 2. DAILY SITE CLEANUP IS REQUIRED TO REDUCE DEBRIS AND POLLUTANTS IN THE ENVIRONMENT.
 3. CONTRACTOR SHALL PROVIDE A SAFE STORAGE SPACE FOR ALL PAINTS, STAINS AND SOLVENTS INSIDE A COVERED STORAGE AREA.
 4. CONTRACTOR SHALL PROVIDE A SAFE STORAGE AREA FOR PESTICIDES AND FERTILIZERS.
 5. ALL FUELS, OILS AND GREASE MUST BE KEPT IN CONTAINERS AT ALL TIMES.
 6. THE CONTRACTOR SHALL REFER TO THE STORM WATER POLLUTION PREVENTION REPORT FOR PROPOSED RETAIL DEVELOPMENT GREENPORT NY, SECTION VII, TECHNICAL FIELD GUIDANCE SPILL REPORTING AND INITIAL NOTIFICATION REQUIREMENTS FOR ANY SPILLS OR LEAKS.

LANDSCAPE NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
2. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 (LATEST EDITION), REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
3. ALL PLANTS MUST BE HARDY UNDER CLIMATE CONDITIONS THAT EXIST AT THE PROJECT SITE AND GROWN AT A NURSERY AT THE SAME HARDINESS ZONE AS THE PROJECT LOCATION.
4. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
5. ALL TREES MUST BE STRAIGHT TRUNKED, INJURY FREE, AND FULL HEADED.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
7. ANY DISCREPANCY WITH QUANTITIES, LOCATIONS AND / OR FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL ISLANDS AND PLANTINGS IN LAWN AREAS WITH SHREDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES UNLESS OTHERWISE DIRECTED.
9. ANY PLANT WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANT MATERIALS (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, AND REMOVAL OF STAKES AND GUYS) AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD.
12. ALL AREAS DISTURBED BY UTILITY INSTALLATION AND SITE GRADING ACTIVITY SHALL RECEIVE APPROVED TOPSOIL (TO A COMPACTED DEPTH OF FOUR (4) INCHES, UNLESS OTHERWISE SPECIFIED BY THE GOVERNING MUNICIPALITY), BE FINE GRADED, SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
13. ALL TOPSOIL SHALL BE SCREENED LOAM SURFACE SOIL, FREE OF STONES AND SHALL HAVE THE FOLLOWING MINIMUM REQUIREMENTS:
a) AN ORGANIC CONTENT OF 8-12%
b) SOIL ACIDITY RANGE OF pH 6.0 TO pH 6.8
c) SOLUBLE SALTS OF 1000 PPM OR LESS
d) MAXIMUM CLAY CONTENT OF 15-20%
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING, AT THEIR EXPENSE, A CERTIFIED SOIL TEST ANALYSIS OF ON SITE AND / OR IMPORTED TOPSOIL. TOPSOIL ANALYSIS TO INCLUDE THE FOLLOWING DATA:
a) pH FACTOR;
b) MECHANICAL ANALYSIS, INCLUDING SIEVE ANALYSIS PROVIDING SEPARATE SAND, SILT AND CLAY PERCENTAGES.
c) PERCENTAGE OF ORGANIC CONTENT BY WEIGHT
d) NUTRIENT LEVELS INCLUDING NITROGEN, PHOSPHOROUS AND POTASSIUM.
15. SHOULD TESTS AND ANALYSIS INDICATE THAT SOIL PROPOSED FOR USE IS DEFICIENT IN ANY OF THE ABOVE REQUIREMENTS; A SYSTEM OF AMELIORATING MAY BE PROPOSED FOR APPROVAL. ANY SYSTEM PROPOSED SHALL PROVIDE FOR AN ACIDITY RANGE OF Ph 6.0 TO 6.8 INCLUSIVE.
16. COMPOST SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:
a) ORGANIC CONTENT OF 35-60% (DRY WEIGHT BASIS)
b) LOOSE AND FRABLE WITH MOISTURE CONTENT OF 35-60% (WET WEIGHT BASIS)
c) PARTICLE SIZE SHALL BE <1/2 INCH (100% PASSING)
d) SOLUBLE SALTS CONCENTRATION SHALL BE <4.0 MMHOS/CM (DS/M), MAXIMUM
e) pH RANGE OF 6.0-8.5
17. PLANTING MIX FOR PLANT PITS SHALL BE COMPOSED OF 2 PARTS IMPORTED OR ON-SITE SCREENED TOPSOIL AND 1 PART COMPOST. THE RATIO OF TOPSOIL TO COMPOST IS SUBJECT TO CHANGE BASED ON THE TESTING RESULTS FOR TOPSOIL.
18. LOCATIONS OF EXISTING BURIED UTILITIES SHOWN ON THE PLAN ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS ALL UNDERGROUND UTILITY LINES ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES AND SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE INSTALLATION.
19. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL, PER DETAILS, ANY DEVIATIONS FROM THE DETAIL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
20. SEE SHEET C503 FOR LANDSCAPE DETAILS.
21. UPON FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, THE OWNER WILL ASSUME MAINTENANCE OF THE LANDSCAPED AREAS.
22. EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING A TEMPORARY FENCE AT THE OUTER LIMITS OF THE TREE CANOPY.
23. ALL INTERIOR LANDSCAPED AREAS SHALL BE PROVIDED WITH A MINIMUM PLANTING MIXTURE DEPTH OF (3) THREE FEET AND FREE FROM ALL FORMS OF CONSTRUCTION DEBRIS.

STORM WATER POLLUTION PREVENTION PLAN NOTES:

1. INSTALL SILT FENCE, DIVERSION SWALES/BERMS, CHECK DAMS AND ALL OTHER EROSION CONTROL MEASURES AS INDICATED ON THE PLAN PRIOR TO THE START OF ANY EXCAVATION WORK. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL.
2. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEEDD AS DIRECTED BY THE CONSTRUCTION MANAGER TO PROMOTE VEGETATION AS SOON AS PRACTICABLE.
3. IF THE SEASONS PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE "STANDARDS", NETTING OR LIQUID MULCH BINDER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE BOX UNIFORM VEGETATION HAS BEEN ACHIEVED.
5. INSTALL INLET PROTECTION, AND RIP RAP APRONS PROGRESSIVELY AS STORM SEWER, AND DISCHARGE POINTS ARE INSTALLED.
6. ALL EROSION CONTROL MEASURES ARE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
9. ALL DISTURBED AREAS SHALL BE FINISH GRADED TO PROMOTE VEGETATION ON ALL EXPOSED AREAS AS SOON AS PRACTICABLE. STABILIZATION PRACTICES (TEMPORARY/PERMANENT SEEDING, MULCHING, GEOTEXTILES, ETC.)MUST BE IMPLEMENTED WITHIN SEVEN (7) DAYS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND NOT EXPECTED TO RESEED WITHIN FOURTEEN (14) DAYS.
10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. ALL CONSTRUCTION DEBRIS AND SEDIMENT SPILLS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
11. DUST SHALL BE CONTROLLED BY WATERING.
12. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE PROPOSED SITE.
13. PERIMETER AREAS SHALL BE TEMPORARILY STABILIZED WITH SEED AND MULCH PROGRESSIVELY A MINIMUM AT THE END OF EACH WEEK WITH 100# PERMANAL PREGRASS MIX AT A RATE OF 2-4 LBS PER 1000 SF AND MULCH 90-100 lbs/1000 SF OF WEED FREE STRAW.

GRADING NOTES:

1. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 4" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEEDD AS DIRECTED BY THE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, INCLUDING SILT SINK AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
3. ALL EROSION CONTROL MEASURES TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
5. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, NYSDEC, AND THE VILLAGE OF GENESEE REQUIREMENTS.
6. ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP PROTECTION TO CONTROL SILTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BALES UNTIL GROUND COVER IS ESTABLISHED.
7. SILT FENCE AND LUTE MESH WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER.
8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
9. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING.

Proposed
Mixed Use
Development

Elmwood Avenue
Rochester, NY 14620

293 A Alden
Road, LLC

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East Rochester, NY 14445

BERGMANN
ASSOCIATES

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Rochester, NY 14604

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Prepared By: B. Burt	Checked By: B. Burt
Designed By: T. Bolt	Drawn By: T. Bolt
August 10, 2021	
Project Number: 014678.00	

NOTES

C010

Elmwood Avenue
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349 West Commercial St.
East Rochester, NY 14445

30 East Broad Street
Suite 200
Rochester, NY 14604

D.	DATE	DESCRIPTION	REV.	CKD
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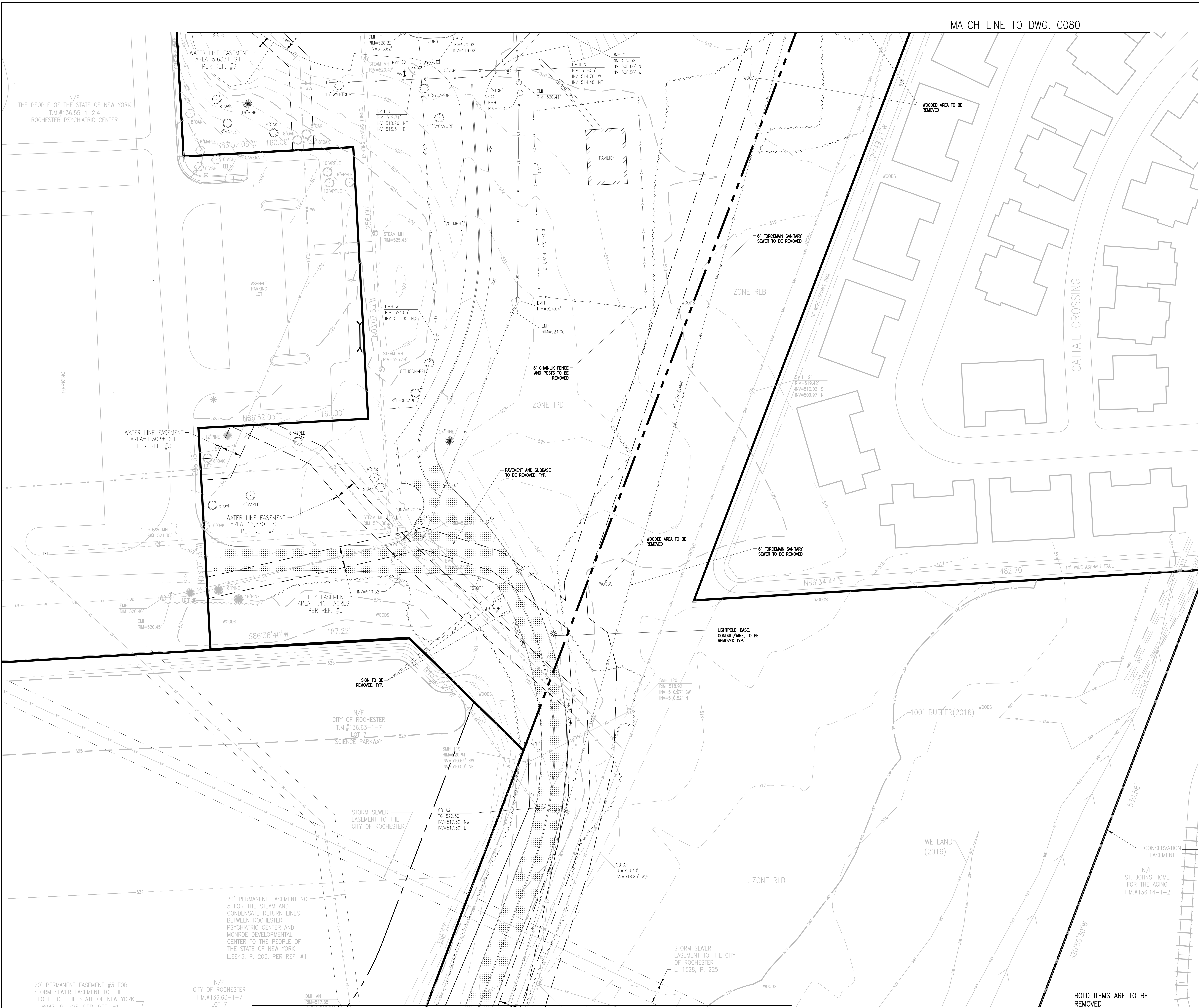
Project Manager: Burri	Checked By: B. Burri
Designed By: Bolt	Drawn By: T. Bolt
Date Issued: August 10, 2021	Scale: 1"=30'
Project Number: 4678-00	

DEMOLITION PLAN

...ing Number.

23

BOLD ITEMS ARE TO BE
REMOVED



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Project Manager B. Burt	Client B. Burt
Designer T. Bolt	Drawn By T. Bolt
Date August 10, 2021	Scale 1"=30'
Project Number 014678.00	

DEMOLITION PLAN

C081

Proposed
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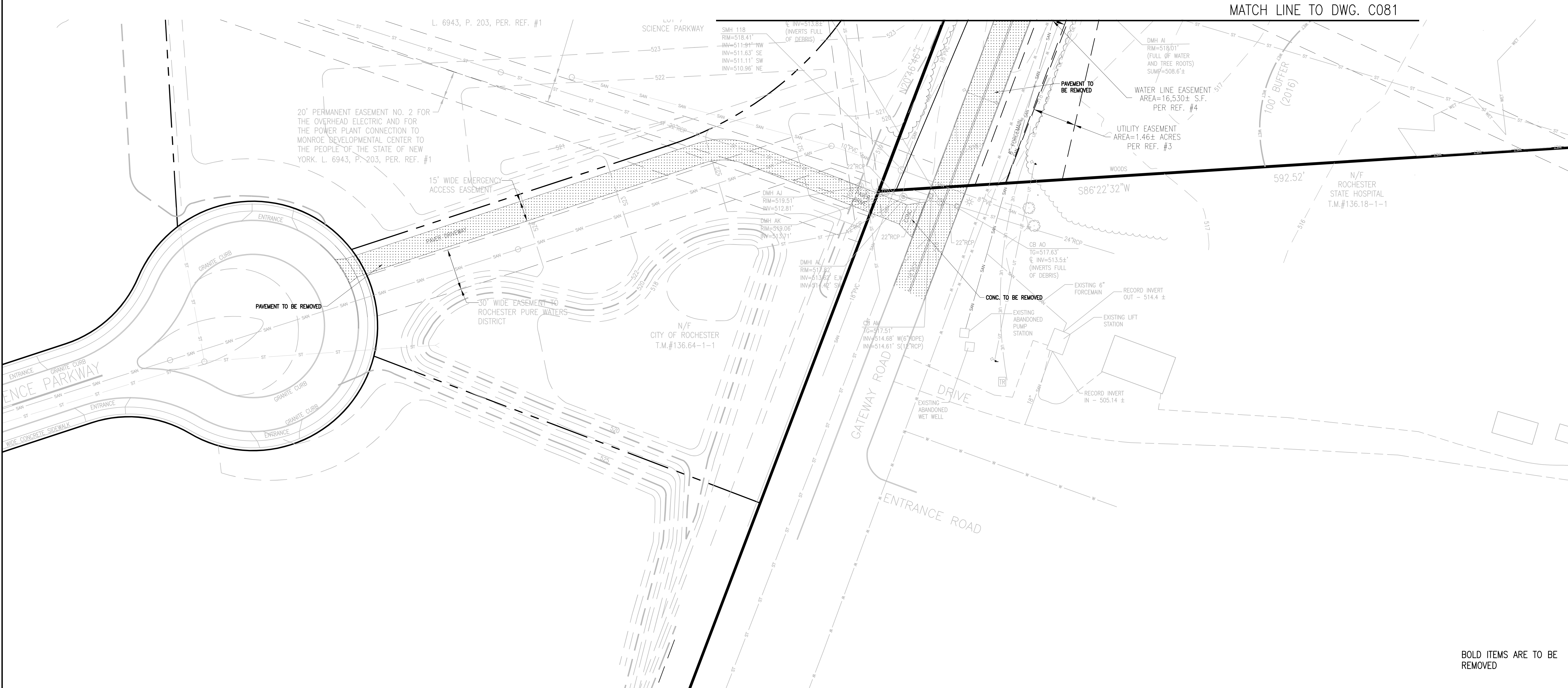
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Project Manager	Bill W. Bolt
Design/Draw	B. Bolt
Check/Rev	T. Bolt
Date	August 10, 2021
Project Number	014678.00

DEMOLITION PLAN

C082



BOLD ITEMS ARE TO BE
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Development

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Project Manager B. Burt	Client B. Burt
Designer T. Bolt	Checker T. Bolt
Date August 10, 2021	Scale 1"=80'
Project Number 014678.00	

PRELIMINARY
OVERALL SITE PLAN

C090

Proposed Mixed Use Development

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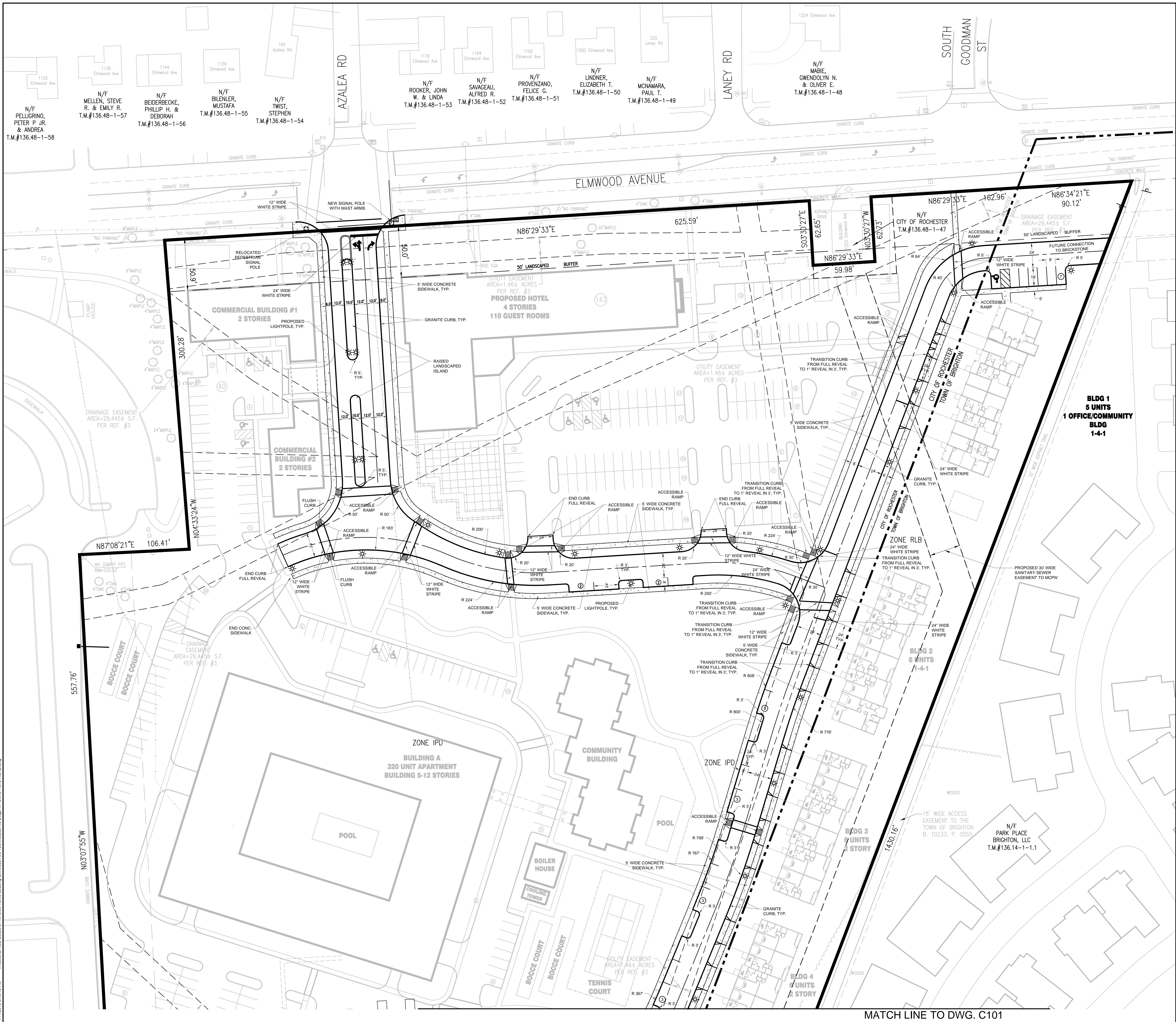
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Project Manager	B. Burt
Designer	T. Bolt
Date	August 10, 2021
Scale	1"=30'
Project Number	014678.00

PRELIMINARY SITE PLAN

C100



MATCH LINE TO DWG. C101

**Proposed
Mixed Use
Development**

Elmwood Avenue
Rochester, NY 14620

**293 A Alden
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Project Manager B. Burt	Client T. Bolt
Designer T. Bolt	Scale 1"=30'
Date August 10, 2021	Project Number 014678.00

**PRELIMINARY
SITE PLAN**

C101

MATCH LINE TO DWG. C100



MATCH LINE TO DWG. C102

N/F
OF THE STATE OF NEW YORK
M.#136.55-1-2.4
ER PSYCHIATRIC CENTER

WATER LINE EASEMENT
AREA=1,303± S.F.
PER REF. #3

MAINTENANCE BUILDING

WATER LINE EASEMENT
AREA=16,530± S.F.
PER REF. #4

UTILITY EASEMENT
AREA=1.46± ACRES
PER REF. #3

N/F
CITY OF ROCHESTER
T.M.#136.63-1-7
LOT 7
SCIENCE PARKWAY

20' PERMANENT EASEMENT NO.
5 FOR THE STEAM AND
CONDENSATE RETURN LINES
BETWEEN ROCHESTER
PSYCHIATRIC CENTER AND
MONROE DEVELOPMENTAL
CENTER TO THE PEOPLE OF
THE STATE OF NEW YORK
L.6943, P. 203, PER REF. #1

N/F
CITY OF ROCHESTER
T.M.#136.63-1-7
LOT 7

20' PERMANENT EASEMENT #3 FOR
SEWER EASEMENT TO THE
CITY OF THE STATE OF NEW YORK
L. 6943, P. 203, PER REF. #1

Elmwood Avenue
Rochester, NY 14620

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Project Manager	Checked By
B. Burri	B. Burri
Designed By	Drawn By
T. Bolt	T. Bolt
Date Issued	Scale:
August 10, 2021	1"=30'
Project Number:	
014678.00	

C102

Proposed Mixed Use Development

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293 A Alden Road, LLC

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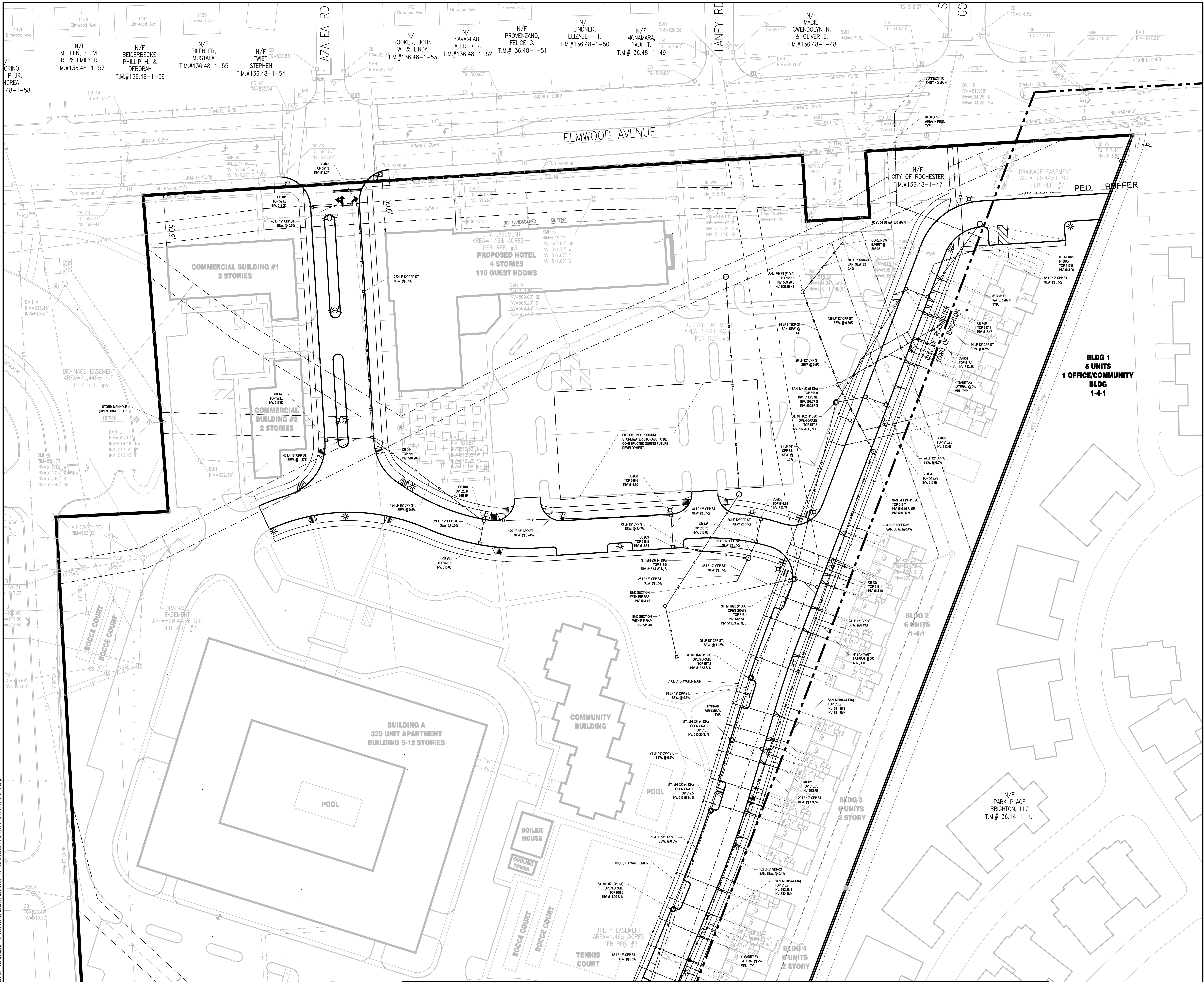
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Project Manager	B. Burt
Designer	T. Bolt
Date	August 10, 2021
Scale	1"=30'

PRELIMINARY UTILITY PLAN

C110



MATCH LINE TO DWG. C111

N/F
THE PEOPLE OF THE STATE OF NEW YORK
T.M.#136.55-1-2.4
ROCHESTER PSYCHIATRIC CENTER

PARKING

WATER LINE EASEMENT
AREA=1,303± S.F.
PER REF. #3

MAINTENANCE BUILDING

WATER LINE EASEMENT
AREA=16,530± S.F.
PER REF. #4

UTILITY EASEMENT
AREA=1.46± ACRES
PER REF. #3

N/F
CITY OF ROCHESTER
T.M.#136.63-1-7
LOT 7
SCIENCE PARKWAY

N/F
CITY OF ROCHESTER
T.M.#136.63-1-7
LOT 7

BUILDING C
100 UNIT APARTMENTS
5 STORIES

BLOG 6
6 UNITS
2 STORY

BLOG 7
6 UNITS
2 STORY

BUILDING B
4 STORY
80 UNITS

WETLAND BUFFER AREA =
1.98 ± AC

N/F
ST. JOHNS HOME
FOR THE AGING
T.M.#136.14-1-2

MATCH LINE TO DWG. C110

MATCH LINE TO DWG. C112

Proposed Mixed Use Development

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293 A Alden Road, LLC

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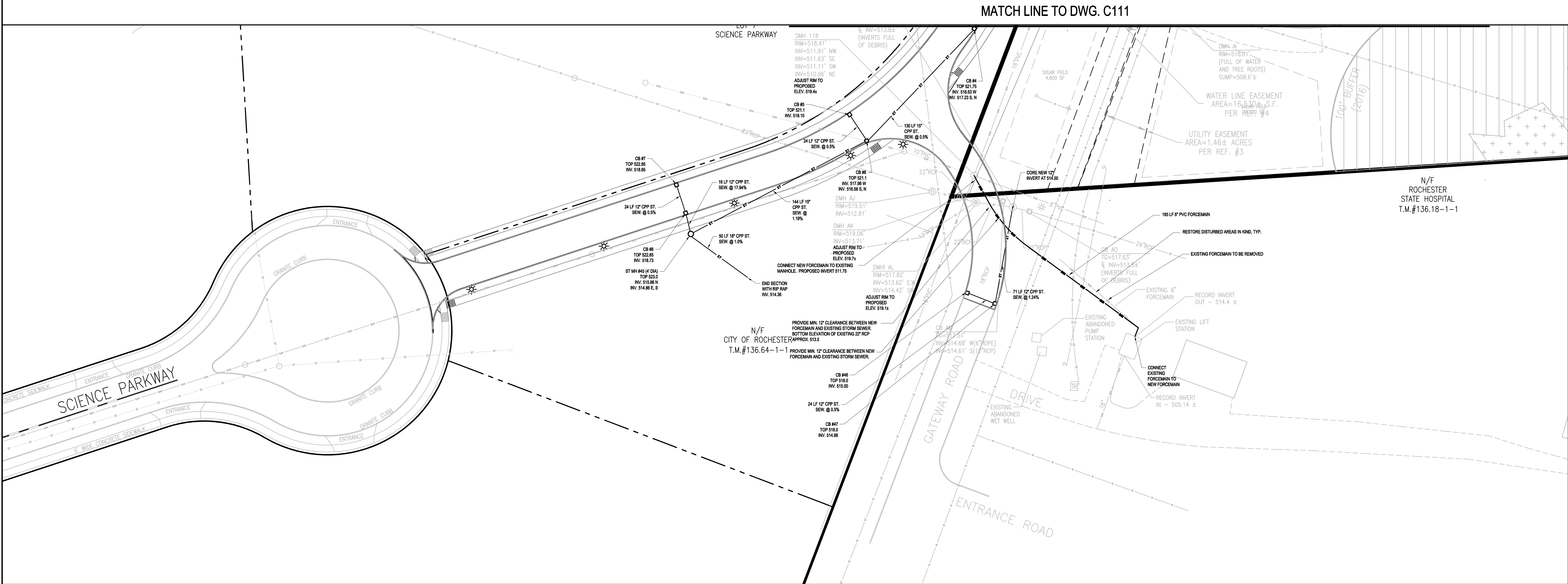
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Project Manager	B. Burt
Designer	T. Bolt
Date	August 10, 2021
Project Number	014678.00

**PRELIMINARY
UTILITY PLAN**

C111



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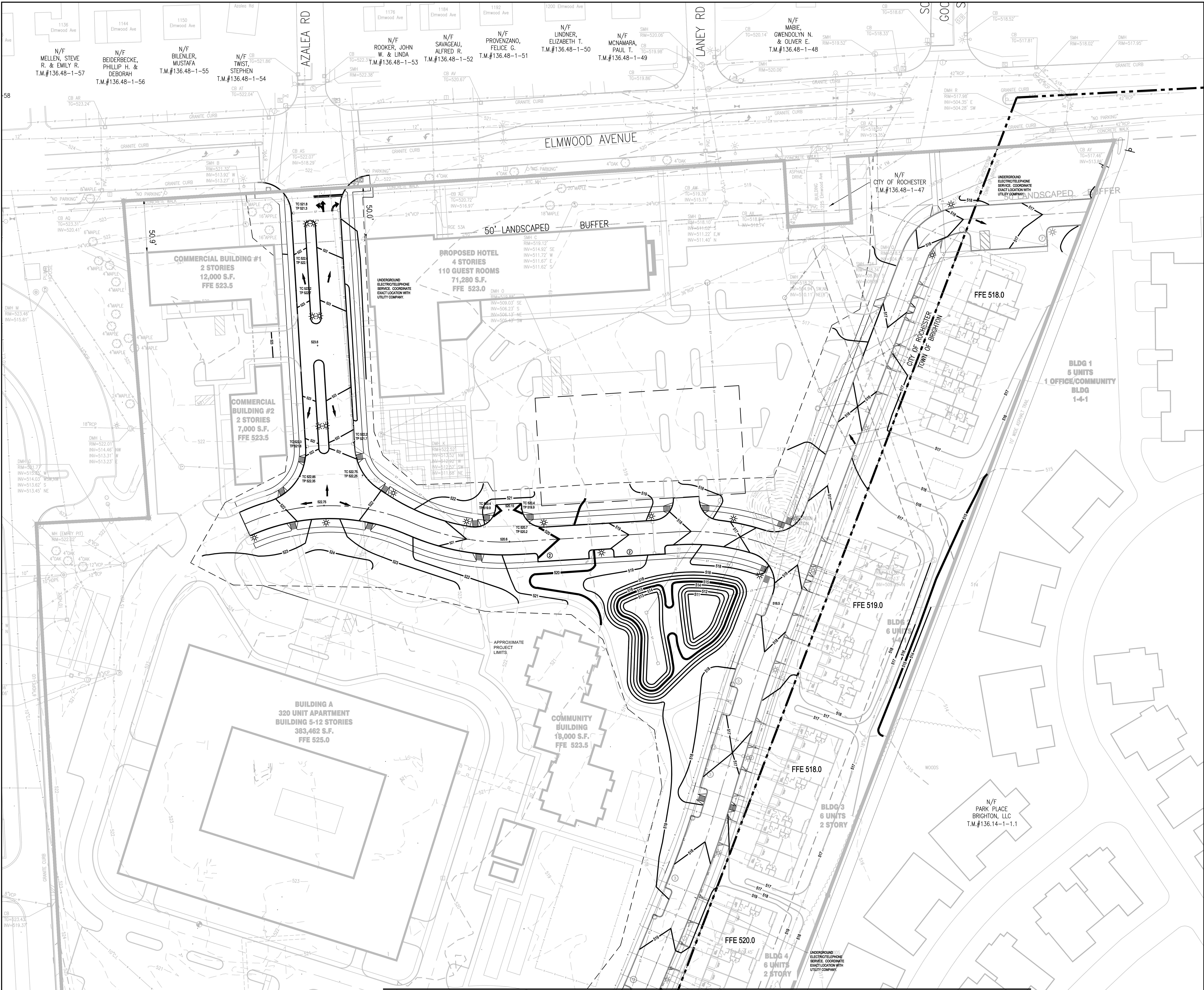
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Project Manager	By: B. Burr
Designed By	Drawn By: T. Bolt
Check Engineer	Scale: 1"=30'
Date: August 10, 2021	Project Number: 014678.00

PRELIMINARY
UTILITY PLAN

C112



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Rochester, NY 14620

**293 A Alden
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349 West Commercial St
East Rochester, NY 14445

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Project Manager B. Burt	Client B. Burt
Designer T. Bolt	Checker T. Bolt
Date August 10, 2021	Scale 1"=60'
Project Number 014678.00	

**GRADING AND EROSION
CONTROL PLAN**

C120

MATCH LINE TO DWG. C120

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Rochester, NY 14620

**293 A Alden
Road, LLC**
349 West Commercial St.
East Rochester, NY 14445

**BERGMANN
ASSOCIATES**

280 East Broad Street
Suite 200
Rochester, NY 14604
office: 585.232.5135
fax: 585.232.4652
www.bergmannrpc.com

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Project Manager: **B. Burt** Design By: **B. Burt**
Check By: **T. Bolt**
Date: **August 10, 2021** Scale: **1"=60'**
Project Number: **014678.00**

**GRADING AND EROSION
CONTROL PLAN**

C121



MATCH LINE TO DWG. C122

Elmwood Avenue
Rochester, NY 14620

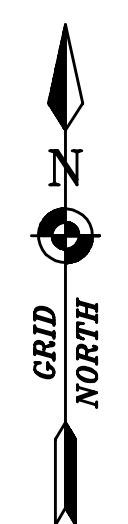
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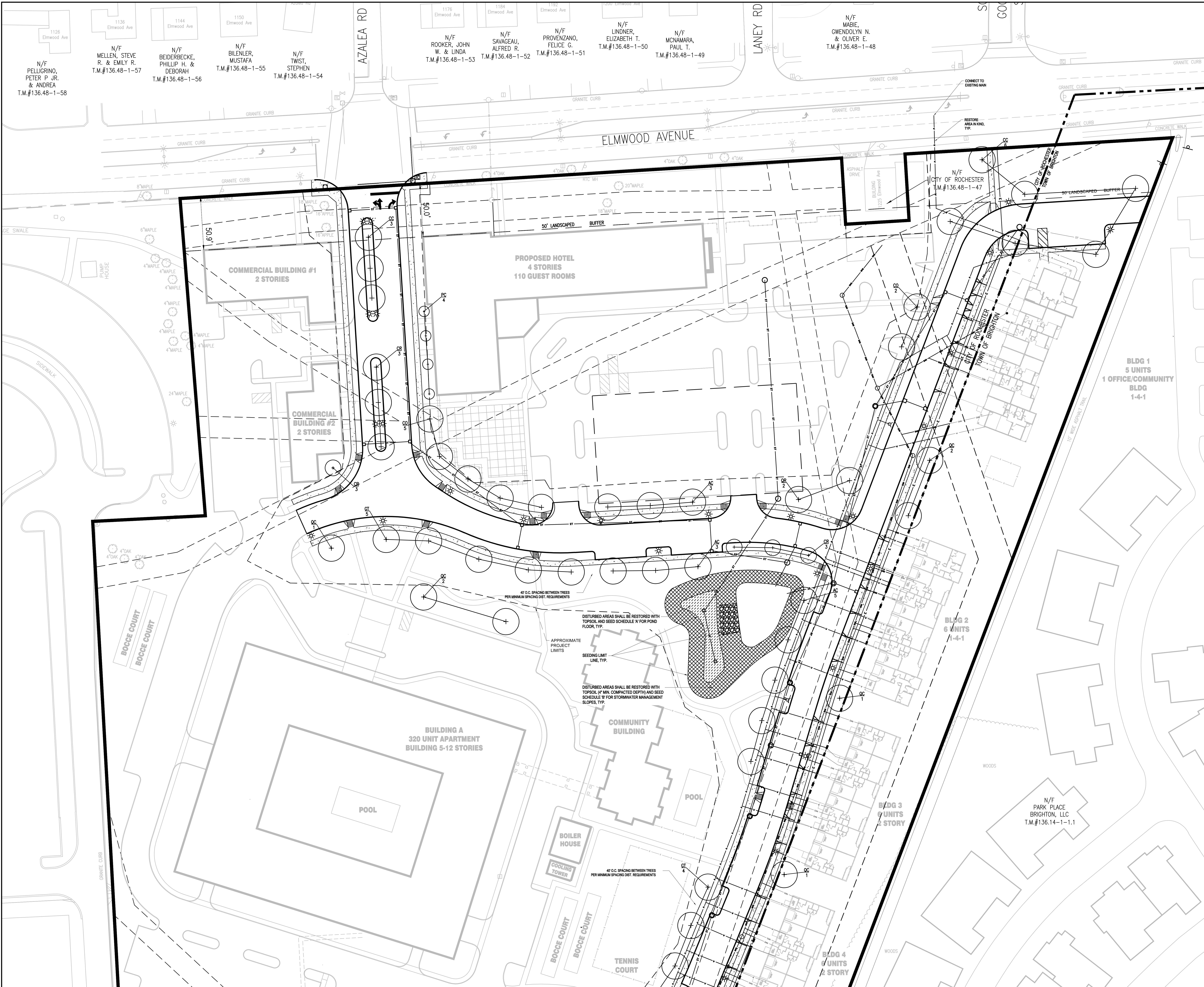
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Project Manager	Checked By
B. Burri	B. Burri
Designed By	Drawn By
T. Bolt	T. Bolt
Date Issued	Scale
August 10, 2021	1"=60'
Project Number	
014678.00	

Examining Number: **C122** 16 of 22



**Proposed
Mixed Use
Development**
Elmwood Avenue
Rochester, NY 14620

**293 A Alden
Road, LLC**
349 West Commercial St
East Rochester, NY 14445

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Project Manager B. Burt	Client B. Burt	Design T. Bolt	Scale 1"=30'
August 10, 2021			
Project Number 014678.00			

**PRELIMINARY
LANDSCAPE PLAN**

C130

N/F
THE PEOPLE OF THE STATE OF NEW YORK
T.M.#136.55-1-2.4
ROCHESTER PSYCHIATRIC CENTER



PARKING

ASPHALT
PARKING
LOT

23.8'

MAINTENANCE
BUILDING

N/F
CITY OF ROCHESTER
T.M.#136.63-1-7
LOT 7
SCIENCE PARKWAY

APPROXIMATE
PROJECT
LIMITS
40' O.C. SPACING BETWEEN TREES
PER MINIMUM SPACING DIST. REQUIREMENTS

BUILDING C
100 UNIT APARTMENTS
5 STORIES

BLDG 5
4 UNITS
1-2-1

BLDG 6
6 UNITS
2 STORY

BLDG 7
6 UNITS
2 STORY

BUILDING B
4 STORY
80 UNITS

WETLAND
(2016)

WETLAND BUFFER AREA =
1.96 ± AC

N/F
ST. JOHNS HOME
FOR THE AGING
T.M.#136.14-1-2

MATCH LINE TO DWG. C130

MATCH LINE TO DWG. C132

Proposed Mixed Use Development

Elmwood Avenue
Rochester, NY 14620

293 A Alden Road, LLC

349 West Commercial St.
East Rochester, NY 14445

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Project Manager	B. Burt	Client	B. Burt
Designer	T. Bolt	Drawn By	T. Bolt
Date	August 10, 2021	Scale	1"=30'
Project Number	014678.00		

**PRELIMINARY
LANDSCAPE PLAN**

C131

18 of 23

Proposed
Mixed Use
Development

Elmwood Avenue
Rochester, NY 14620

293 A Alden
Road, LLC

349 West Commercial St.
East Rochester, NY 14445

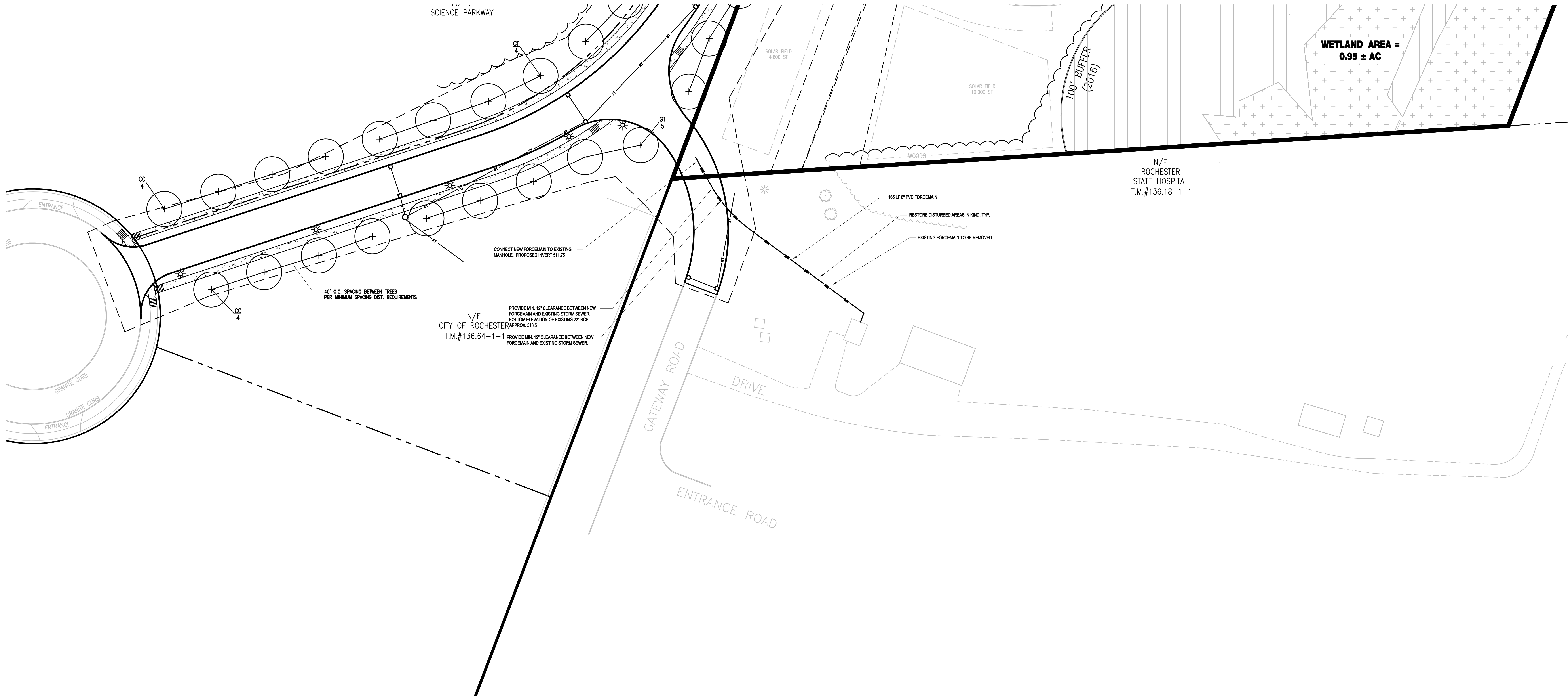
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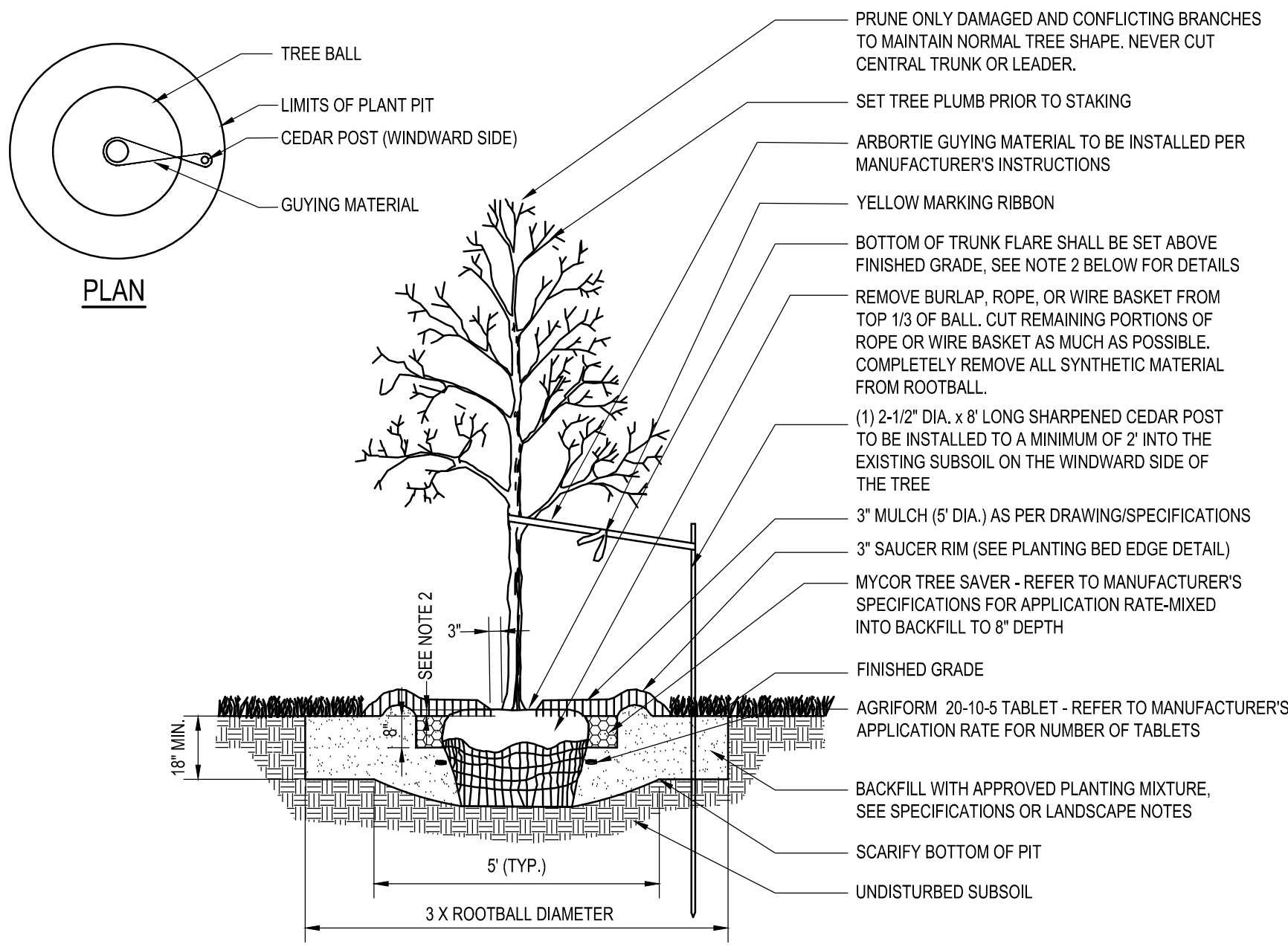
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Project Manager B. Burt	Client B. Burt
Designer T. Bolt	Drawn By T. Bolt
Date August 10, 2021	Scale 1"=30'
Project Number 014678.00	

PRELIMINARY
LANDSCAPE PLAN

C132

PLANT LIST						
Key	Qty	Botanical Name	Common Name	Mature Size	Installed Size	Condition Notes
				Height Spread		
Shade Trees						
AC	11	Acer campestre	Hedge Maple	25-40' Ht. 25-40' Spnd.	2.5' Cal.	BAB
CO	15	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	40-60' Ht. 40-50' Spnd.	3' Cal.	BAB
GT	18	Gleditsia LI 'Skyline'	Skyline Honeylocust	35-45' Ht. 25-35' Spnd.	2.5' Cal.	BAB
QC	26	Quercus coccinea	Scarlet Oak	50-70' Ht. 40-50' Spnd.	3' Cal.	BAB
QR	13	Quercus rubra	Northern Red Oak	75' Ht. 60' Spnd.	3' Cal.	BAB
Ornamental Trees						
CC	17	Carpinus caroliniana	American Hornbeam	20-35' Ht. 20-35' Spnd.	2.5' Cal.	BAB Tree Form
CR	9	Comus 'Rutgar' Stellar Pink	Stellar Pink Dogwood	15-30' Ht. 15-30' Spnd.	2.5' Cal.	BAB
PC	4	Pyrus calleryana 'Jazzant'	Jack Pear	15' Ht. 10' Spnd.	2.5' Cal.	BAB



NOTES:

1. MAINTAIN A 3" MINIMUM RADIUS CLEAR OF MULCH AROUND THE TRUNK.
2. THE DISTANCE BETWEEN THE BOTTOM OF THE TRUNK FLARE AND THE FINISHED GRADE SHALL BE AS FOLLOWS:
- FOR SANDY OR LOAMY SOILS: 1"
- FOR CLAY OR POORLY DRAINED SOILS: 3"
THE CONTRACTOR SHALL REVIEW THE APPROPRIATE PLANTING DEPTH WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
3. WHEN TAGGING TREES AT THE NURSERY, MARK THE NORTH SIDE OF THE TREE IN THE FIELD AND WHEN INSTALLING, ROTATE TREE TO FACE NORTH WHENEVER POSSIBLE.

DECIDUOUS TREE PLANTING LESS THAN 4" CAL.

N.T.S.

SEED SCHEDULE 'A' (STORMWATER BASIN)		
SEEDING LIMITS: FROM DAILY WATER ELEVATION TO 10 YR. STORM ELEVATION		
SEEDING RATE: 20-40 lbs./ACRE OR 1lb./1,000 S.F.		
RETENTION BASIN FLOOR MIX - LOW MAINTENANCE - ERMIX-126		
AS PROVIDED BY ERNST CONSERVATION SEEDS		
1-(800) 873-3321		
PERCENT BY NO. OF SEEDS	SCIENTIFIC NAME	COMMON NAME
25%	PANICUM RIGIDULUM, PA ECOTYPE	REDTOP PANGRASS, PA ECOTYPE
15%	ELYMUS VIRGINICUS, PA ECOTYPE	VIRGINIA WILDRYE, PA ECOTYPE
15%	RUCCONELLA DISTANS, 'FULTS'	ALKALIGRASS, 'FULTS'
15%	POA PALUSTRIS	POW. BLUEGRASS
10%	AGROSTIS STOLONIFERA	CREEPING BENTGRASS
10%	AGROSTIS SCABRA, PA ECOTYPE	TICKLEGRASS (ROUGH BENTGRASS), PA ECOTYPE
5%	JUNCUS EFFUSUS	SOFT RUSH
5%	AGROSTIS PERENNANS, PA ECOTYPE	AUTUMN BENTGRASS, PA ECOTYPE
1%	JUNCUS TENUIS, PA ECOTYPE	PAITH RUSH, PA ECOTYPE
**PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 50 lbs./acre.		

SEED SCHEDULE 'B' (STORMWATER BASIN)		
SEEDING LIMITS: FROM 10 YR. STORM ELEVATION TO LIMITS SHOWN ON PLAN		
SEEDING LIMITS: AS SHOWN		
SEEDING RATE: 20 lbs./ACRE (1/2 lb./1,000 S.F.)		
RETENTION BASIN WILDLIFE SEED MIX - ERMIX-127		
AS PROVIDED BY ERNST CONSERVATION SEEDS		
1-(800) 873-3321		
PERCENT BY NO. OF SEEDS	SCIENTIFIC NAME	COMMON NAME
30%	CAREX VULPINODEA, PA ECOTYPE	FOX SEDGE, PA ECOTYPE
23%	ELYMUS VIRGINICUS, PA ECOTYPE	VIRGINIA WILDRYE, PA ECOTYPE
15%	PANICUM RIGIDULUM, COASTAL PLAIN NC ECOTYPE	REDTOP PANGRASS, COASTAL PLAIN NC ECOTYPE
12%	CAREX LURIDA, PA ECOTYPE	LURID (SHALLOW) SEDGE, PA ECOTYPE
4%	AGROSTIS PERENNANS, PA ECOTYPE	AUTUMN BENTGRASS, PA ECOTYPE
4%	VERBENA HASTATA, PA ECOTYPE	BLUE VERVAIN, PA ECOTYPE
3%	SCIRPUS ATROVIRENS, PA ECOTYPE	GREEN BULRUSH, PA ECOTYPE
3%	CAREX LUPULINA, PA ECOTYPE	HOP SEDGE, PA ECOTYPE
3%	JUNCUS EFFUSUS	SOFT RUSH
2%	SCIRPUS CYPERNUS, PA ECOTYPE	WOOLGRASS, PA ECOTYPE
0.5%	ASTER UMBELLATUS, PA ECOTYPE	FLAT TOPPED WHITE ASTER, PA ECOTYPE
0.5%	MIMULUS RINGENS, PA ECOTYPE	SQUARE STEMMED MONKEYFLOWER, PA ECOTYPE
**PROVIDE TEMPORARY SEEDING OF ANNUAL RYEGRASS (LOLIUM MULTIFLORUM) WITHIN SEEDING LIMITS AT RATE OF 50 lbs./acre.		

SEED SCHEDULE 'A' (GENERAL LAWN AREAS)	
5 lbs./1,000 s.f.	
30% CREEPING RED FESCUE (MIN. 3 VARIETIES)	
50% PERENNIAL RYEGRASS (MIN. 3 VARIETIES)	
20% KENTUCKY BLUEGRASS (MIN. 3 VARIETIES)	

Proposed Mixed Use Development

Elmwood Avenue
Rochester, NY 14620

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East Rochester, NY 14445

BERGMANN ASSOCIATES

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Project Manager B. Burt	Client Rep. B. Burt
Designer T. Bolt	Client Rep. T. Bolt
Date August 10, 2021	Scale 1"=30'
Project Number 014678.00	

PRELIMINARY LANDSCAPE DETAILS

Drawing Number:

C133

Proposed
Mixed Use
Development

Elmwood Avenue
Rochester, NY 14620

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Road, LLC

349 West Commercial St.
East Rochester, NY 14445

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Project Manager	B. Burt
Design/Check	T. Bolt
Date	August 10, 2021
Project Number	014678-00

PRELIMINARY
PHOTOMETRIC PLAN

C140

Schedule								
Symbol	Label	Image	Quantit y	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
A	A		32	American Electric Lighting	ARDCL P50 XX 40K R3	American Revolution Deluxe LED Full cutoff with R3 distribution	0.92	65.7
D	D		3	American Electric Lighting	ARDCL P50 XX 40K R3	American Revolution Deluxe LED Full cutoff with R3 distribution	0.92	131.4



PROPOSED MIXED USE DEVELOPMENT
1201 ELMWOOD - SITE LIGHTING
16FT MOUNTING HEIGHT
LIGHT LEVELS MAINTAINED AT GRADE

Designer
M. TRIPPE, LC, MIES
Date
8/04/2021
Scale
As Shown
Drawing No.
Summary

1 of 1



ellh

Plan View
Scale: 1" = 50'

Proposed Mixed Use Development

Elmwood Avenue
Rochester, NY 14620

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349 West Commercial St
East Rochester, NY 14445

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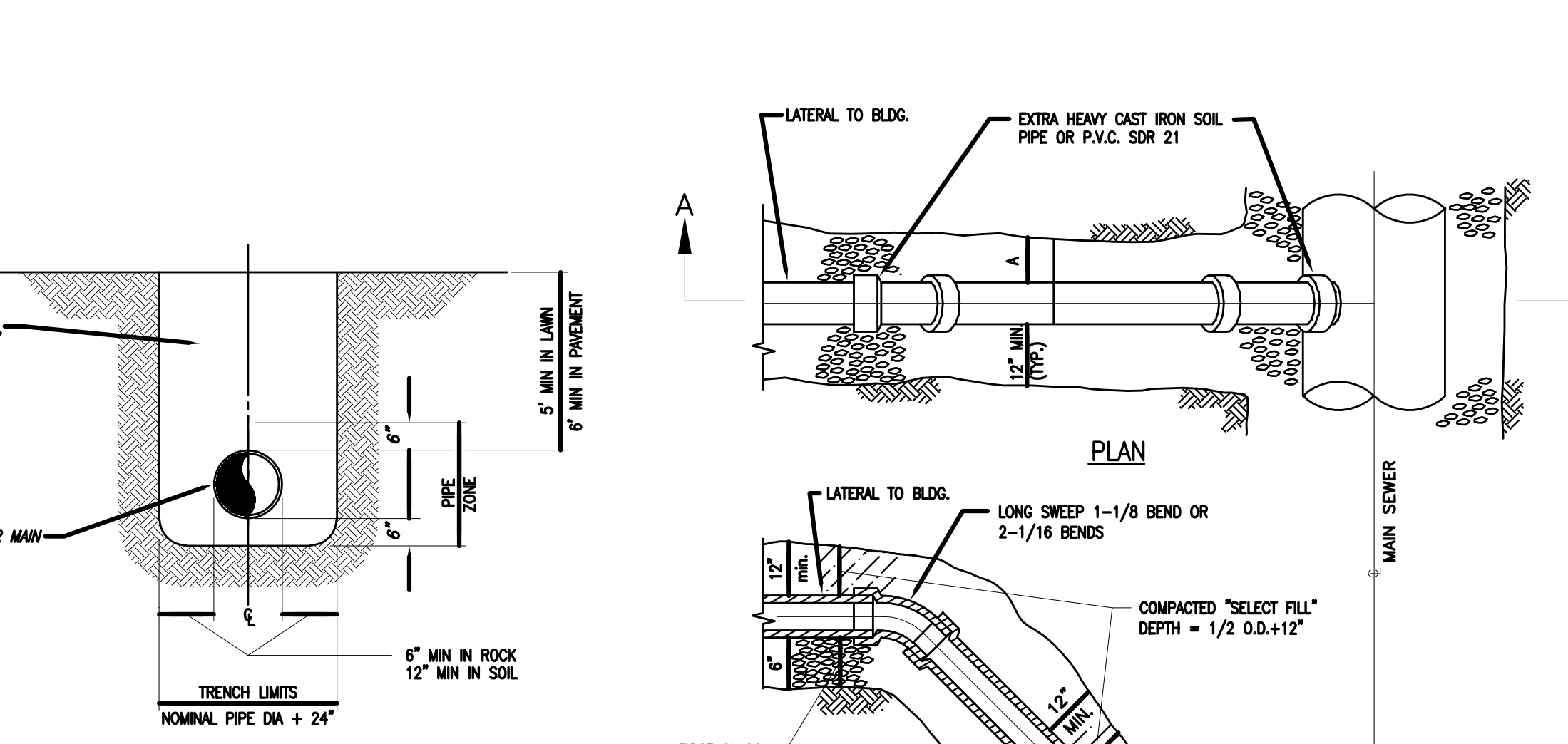
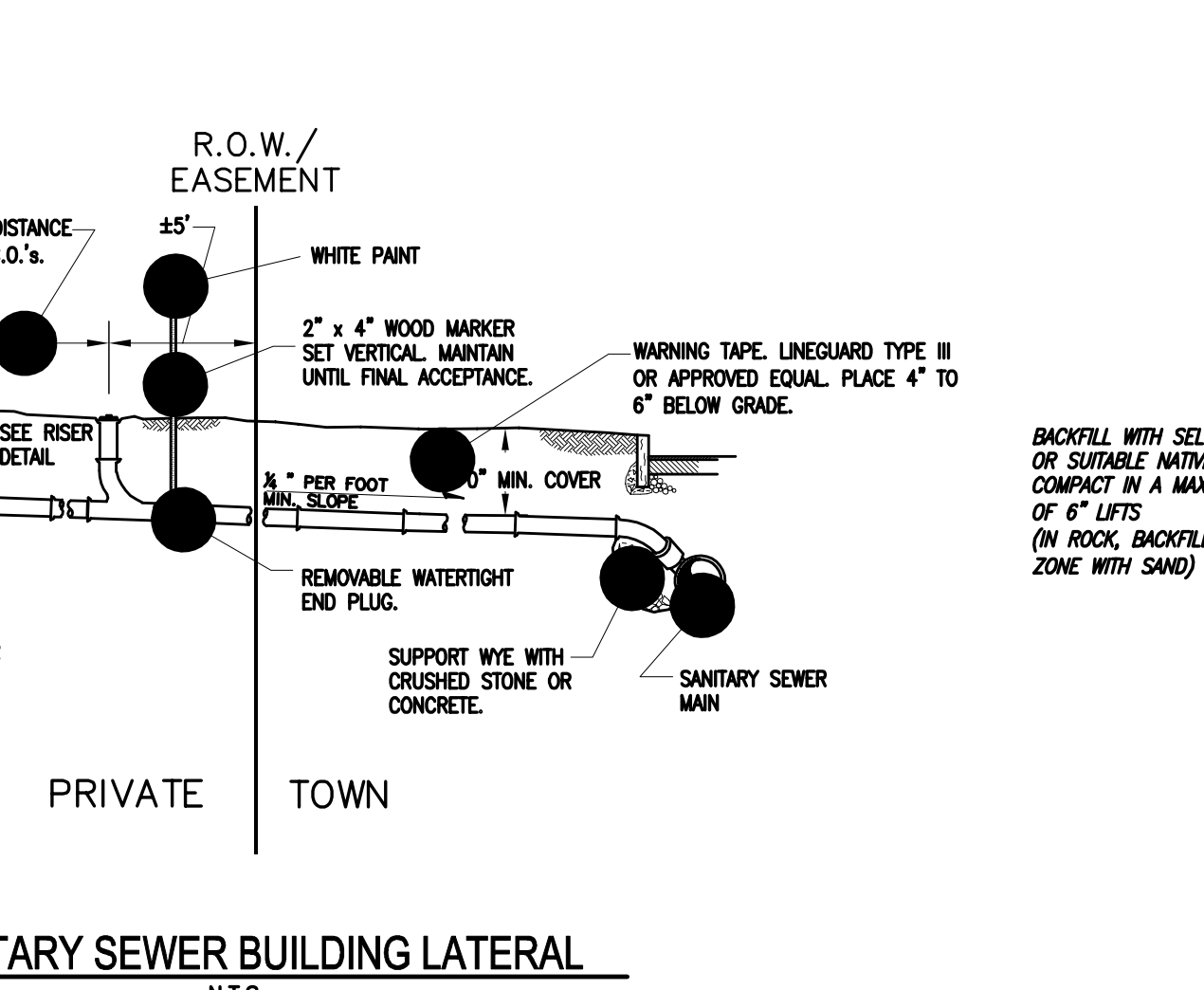
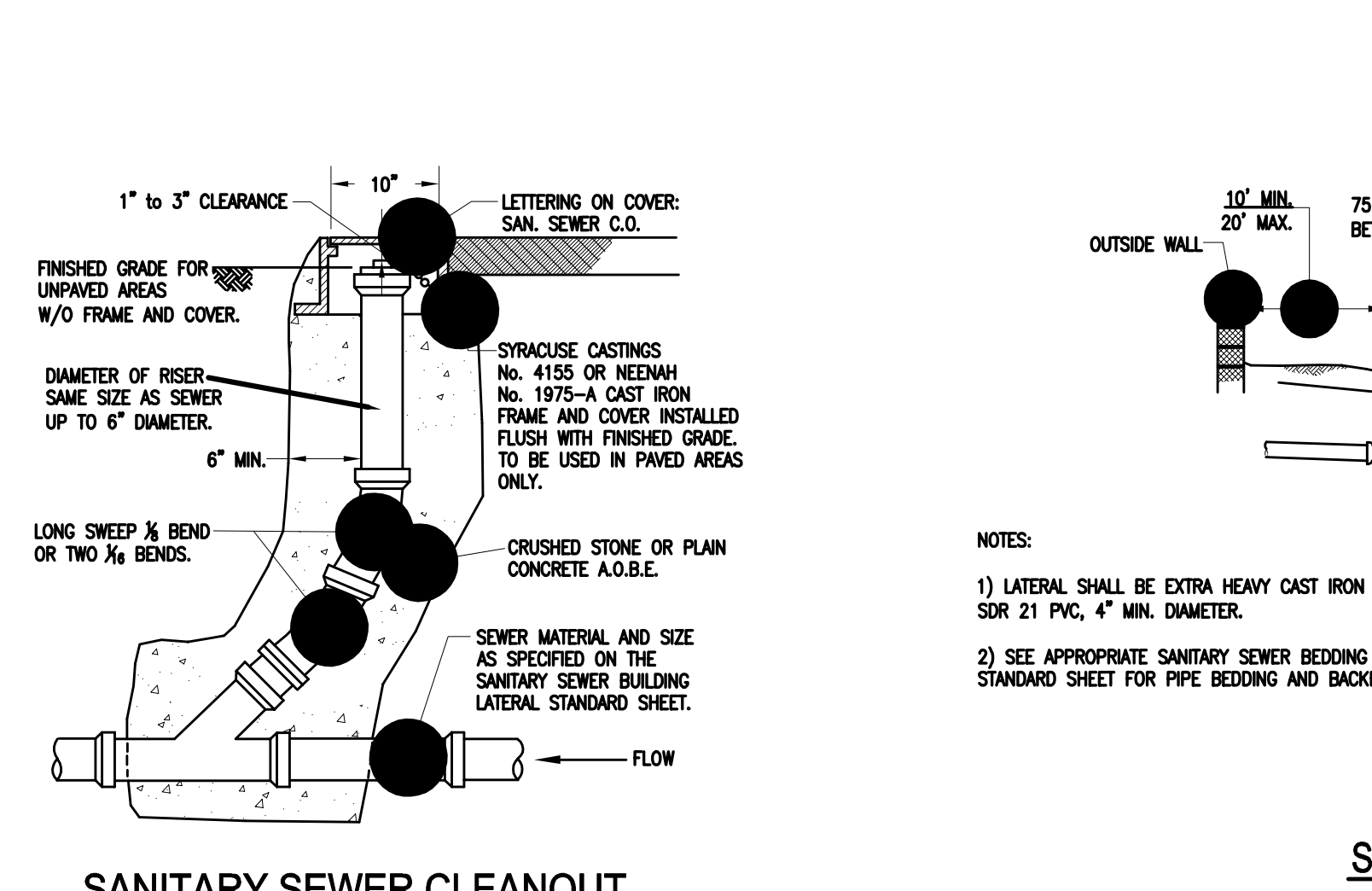
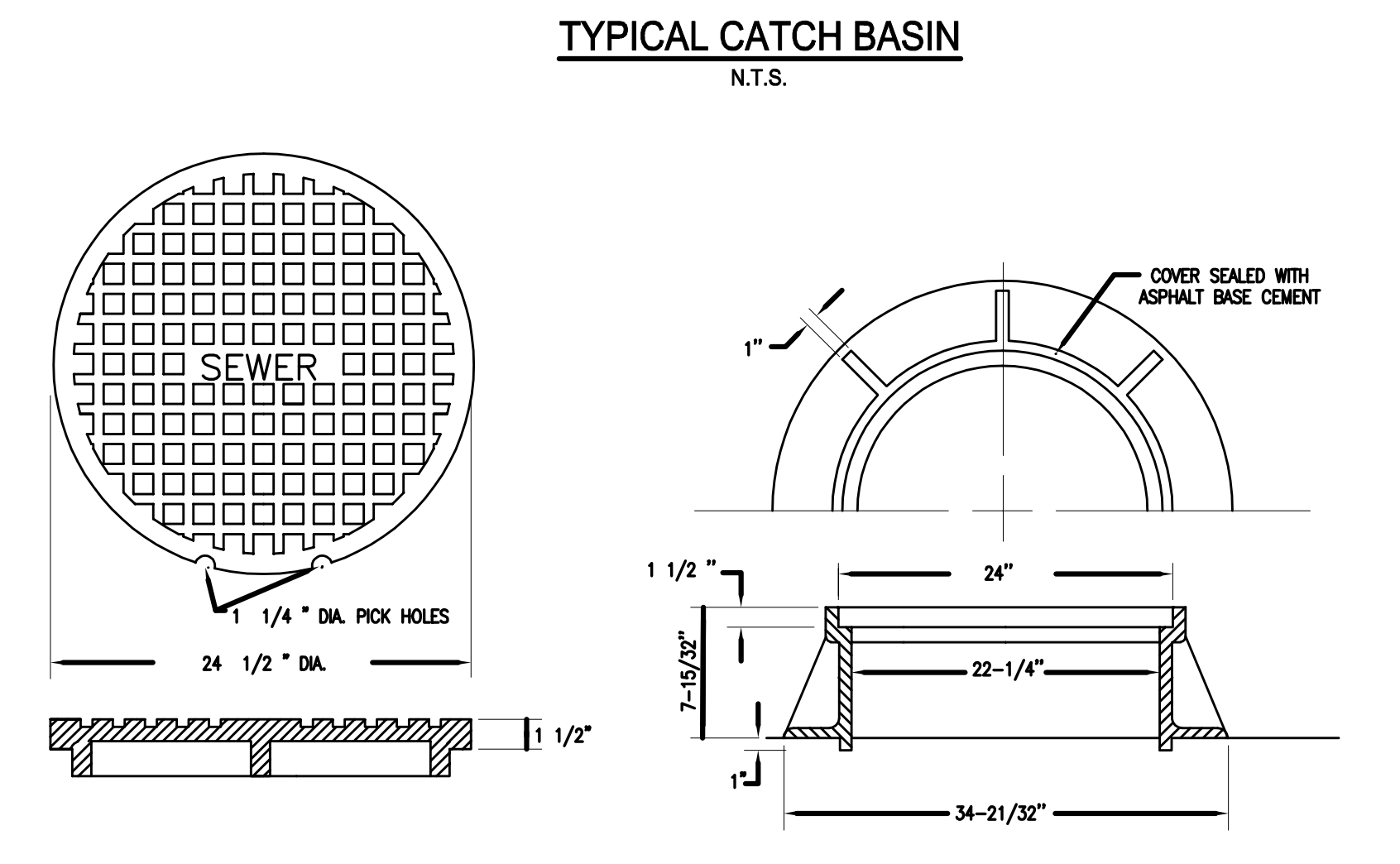
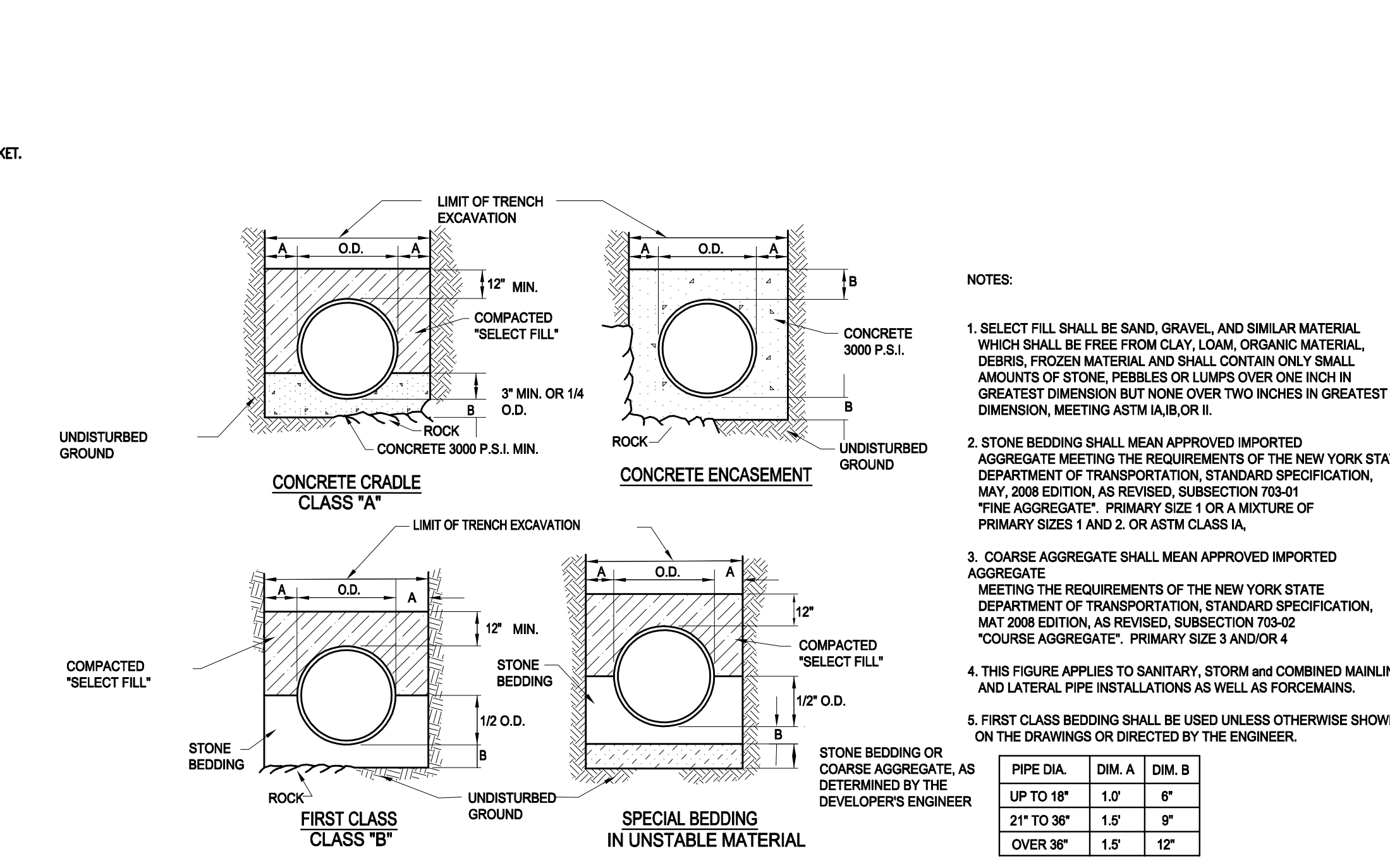
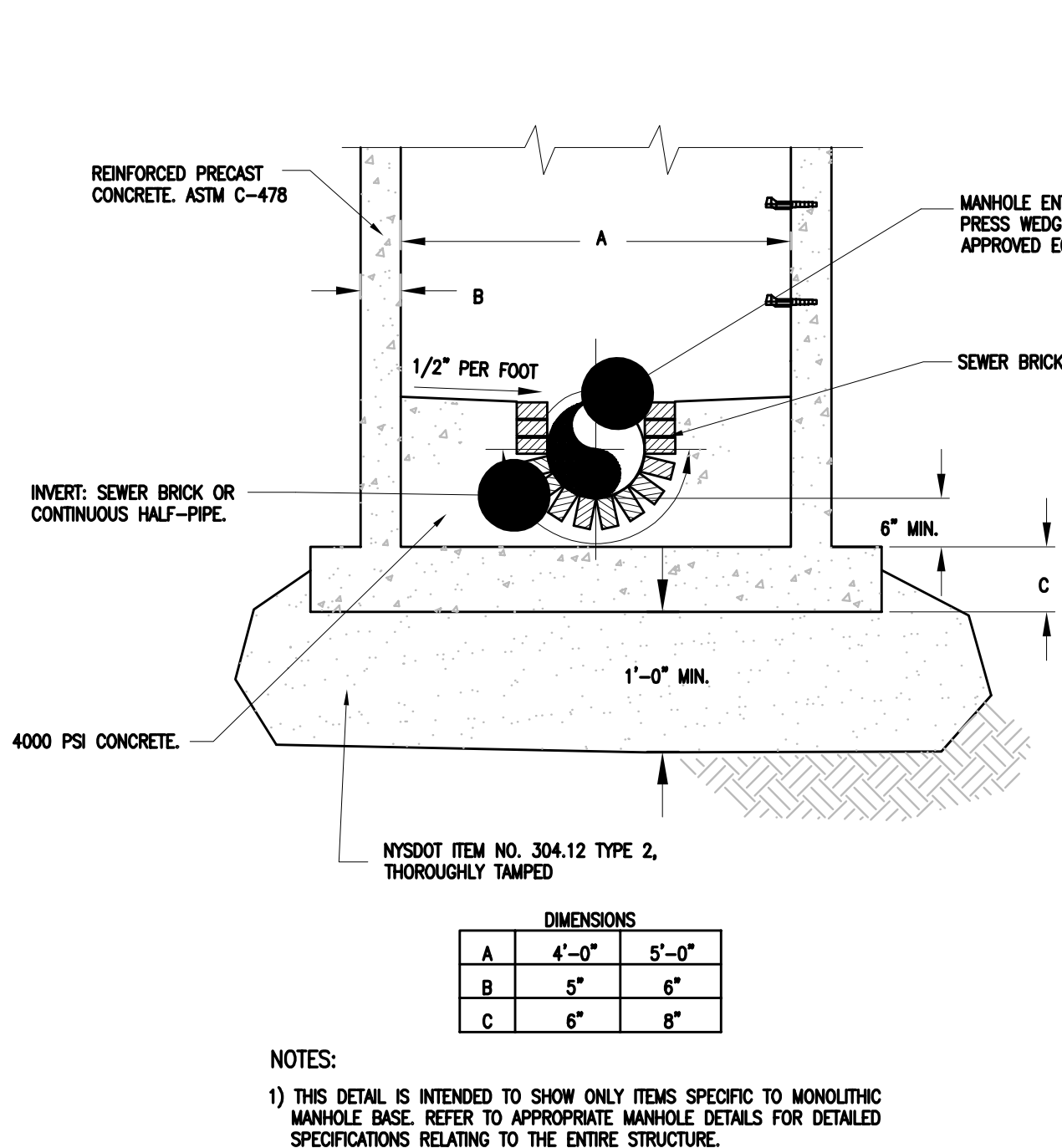
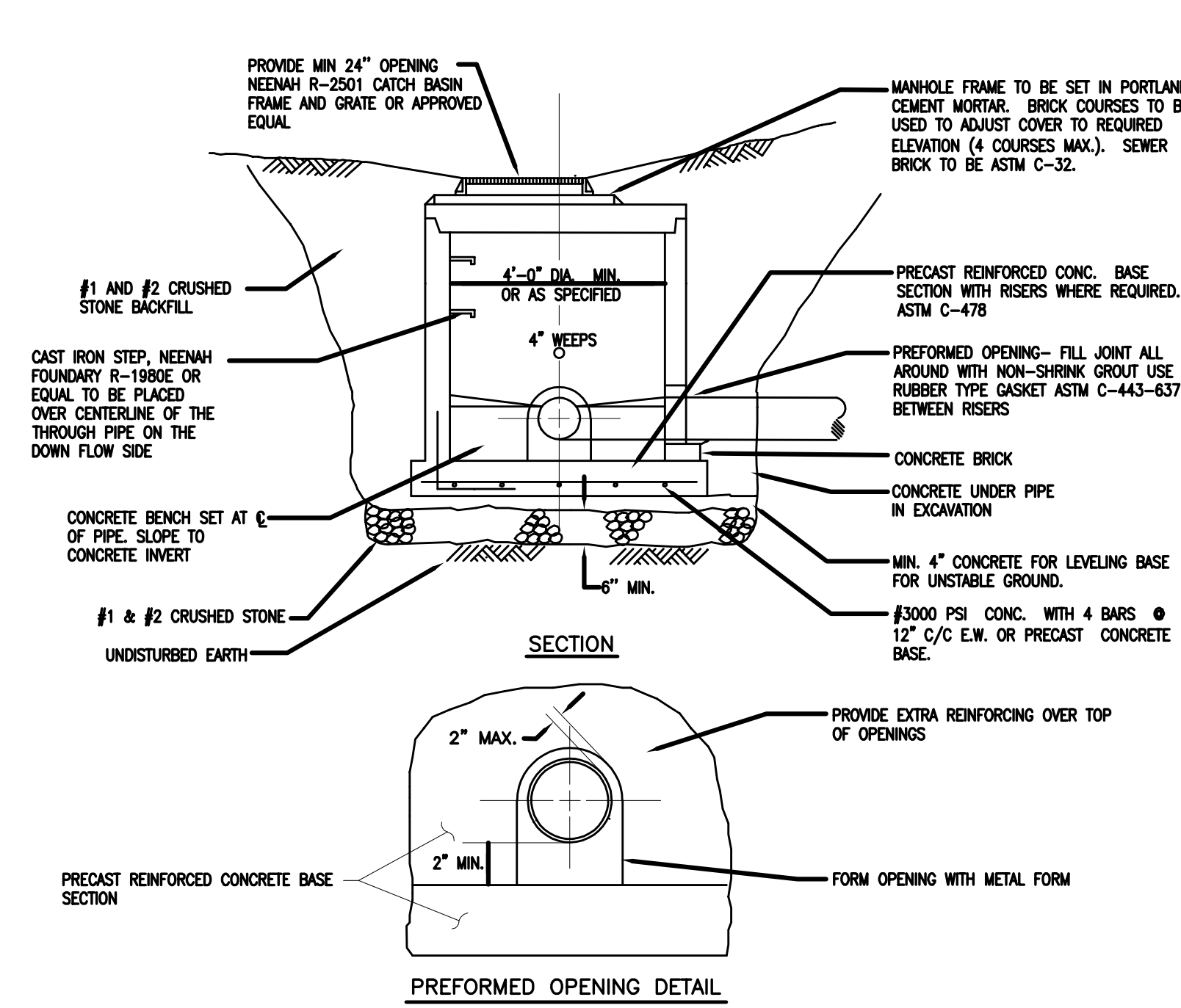
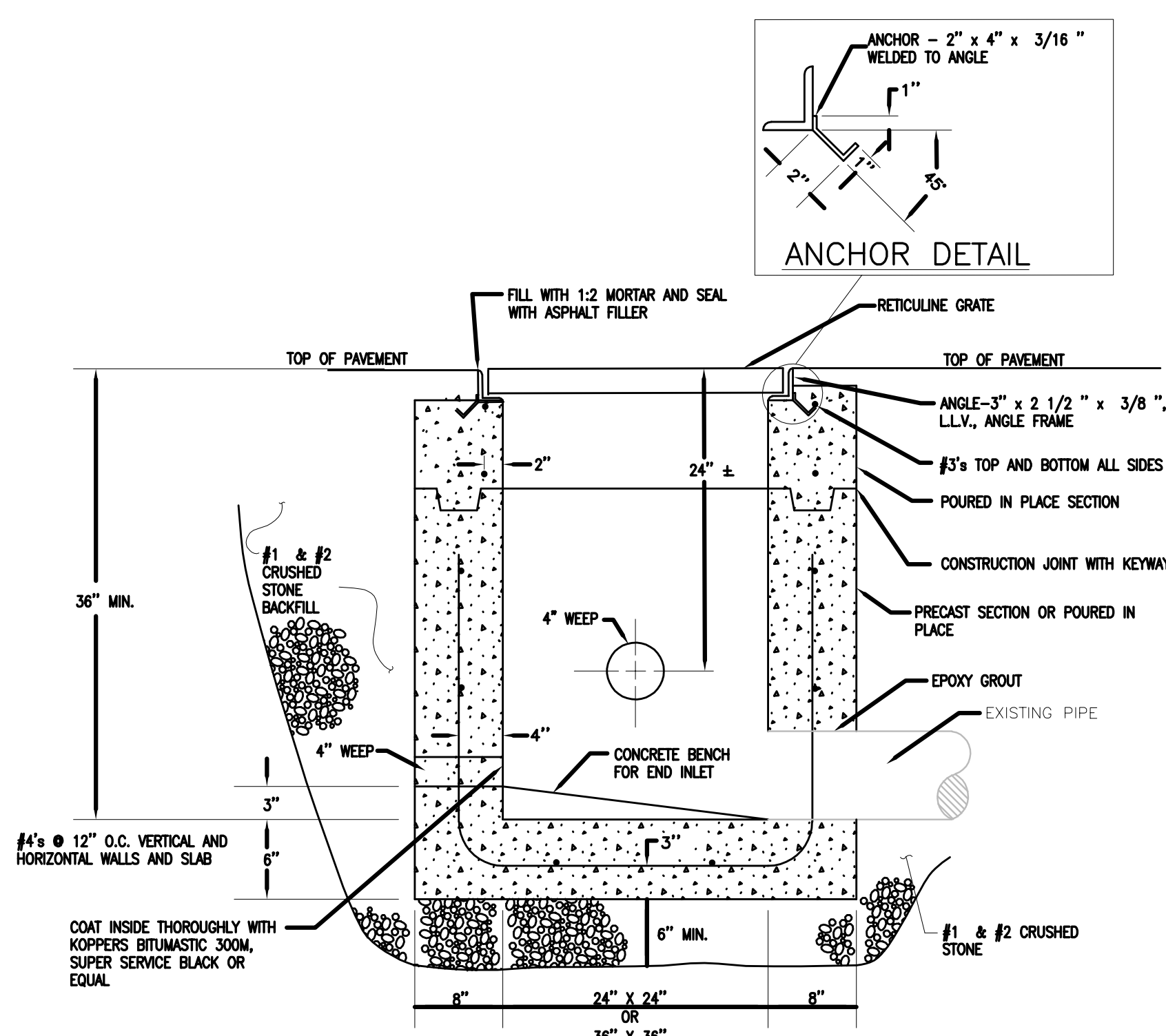
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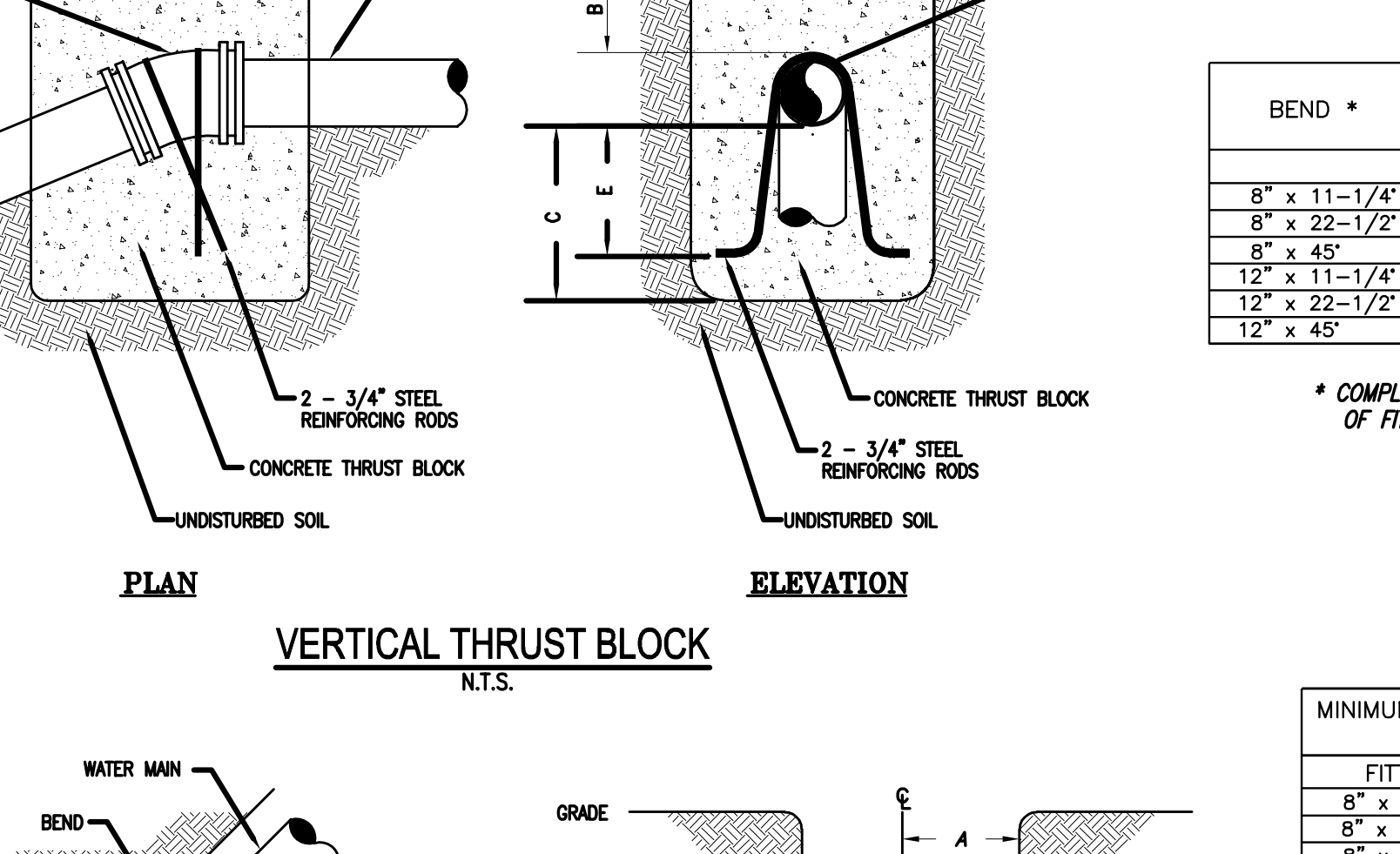
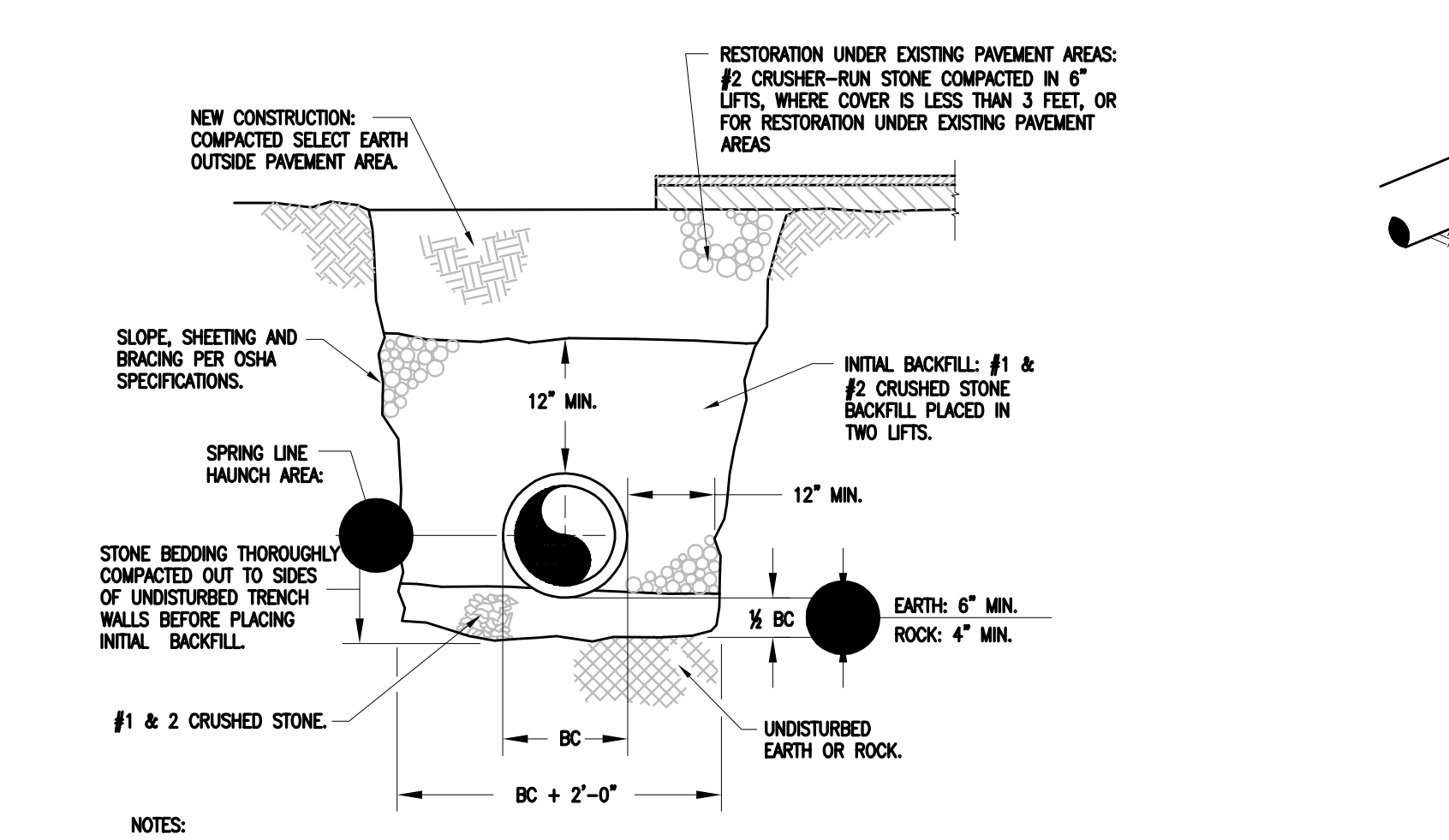
NO.	DATE	DESCRIPTION	REV.	CK'D
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- MANHOLE FRAME, SOLID LID, NEENAH R-1728-A OR EQUAL TO MEET THE FOLLOWING:
- 1) MATERIAL: A.S.T.M. SPEC. A-48, CLASS 30
 - 2) HORIZONTAL BEARING SURFACES TO BE MACHINED
 - 3) ALL SURFACES TO BE BITUMINOUS COATED
 - 4) STORM SEWER SHALL HAVE "STORM" ON THE COVER, SANITARY SEWER SHALL HAVE "SANITARY" ON THE COVER

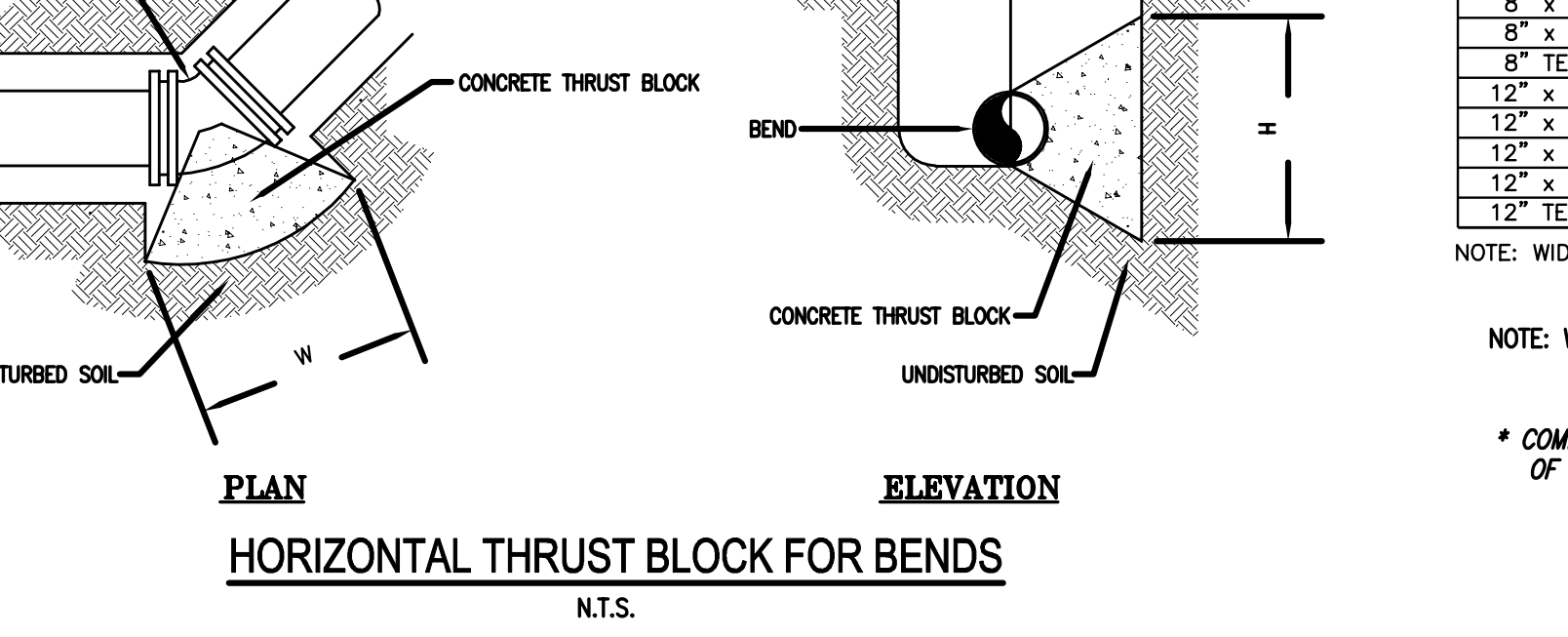
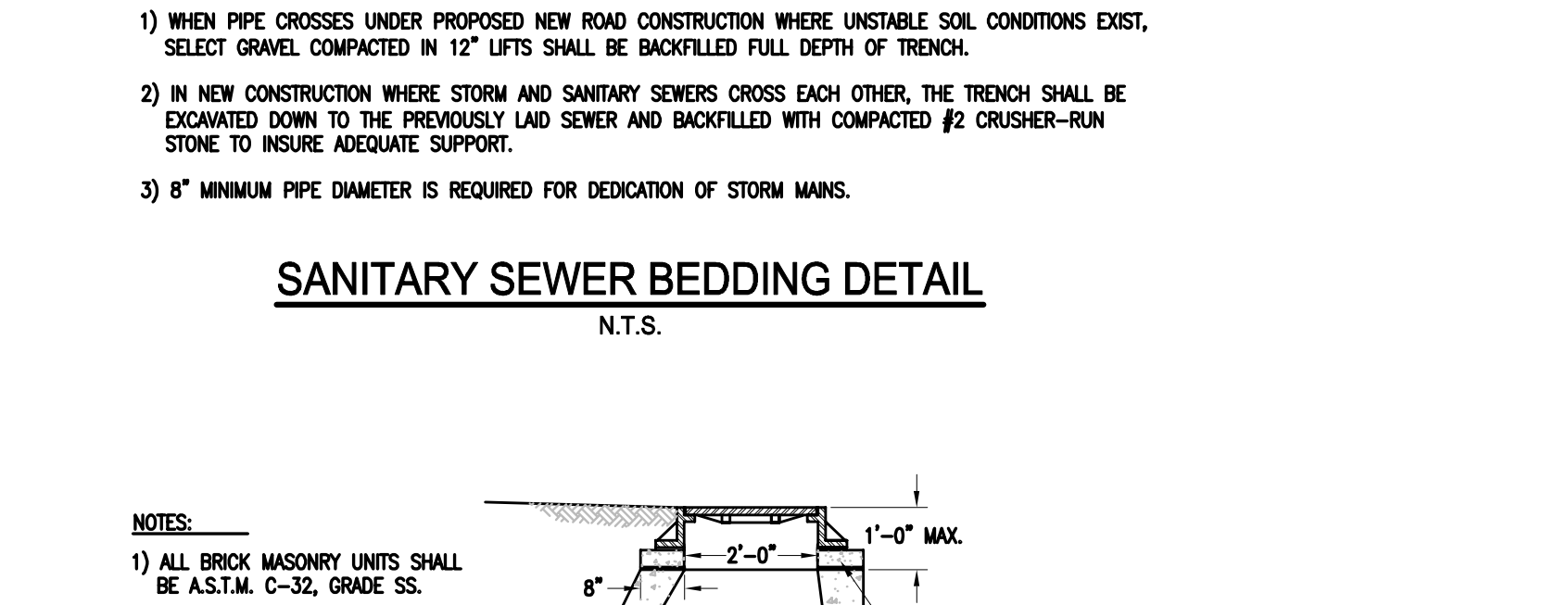
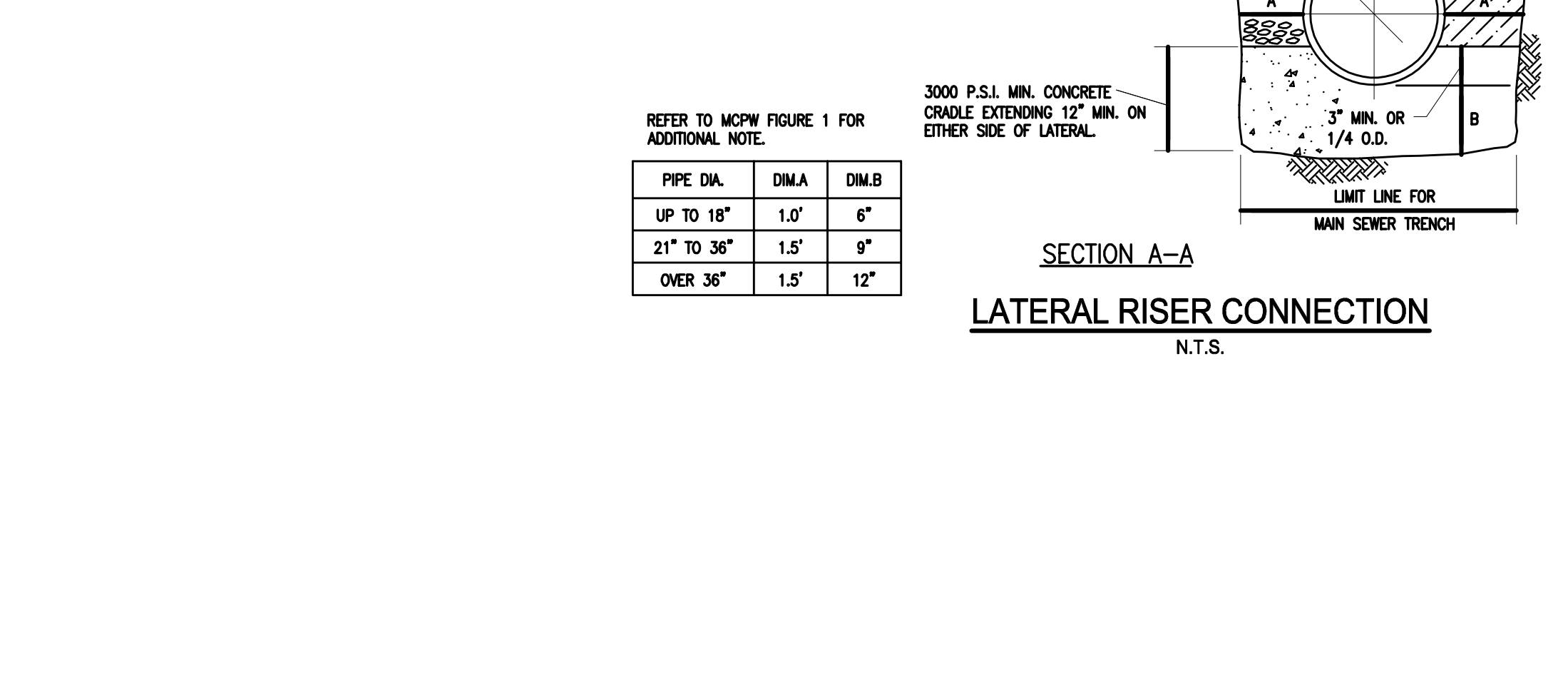
STORM/SANITARY SEWER MANHOLE COVER

N.T.S.



BEND	MINIMUM VOLUME OF CONCRETE DIMENSIONS	MINIMUM ALLOWABLE DIMENSIONS FOR VERTICAL THRUST BLOCKS (IN FEET)
		A B C D E
8" x 11-1/4"	0.35 CY	2.0 1.0 1.5 2.0 1.0
8" x 22-1/2"	0.7 CY	2.5 1.0 2.0 2.5 1.5
8" x 45"	1.4 CY	4.0 1.5 2.0 3.0 1.5
12" x 11-1/4"	0.8 CY	2.5 1.5 2.0 2.5 1.5
12" x 22-1/2"	1.6 CY	4.0 2.0 2.0 3.0 1.5
12" x 45"	3.2 CY	5.0 2.0 3.0 3.5 2.5

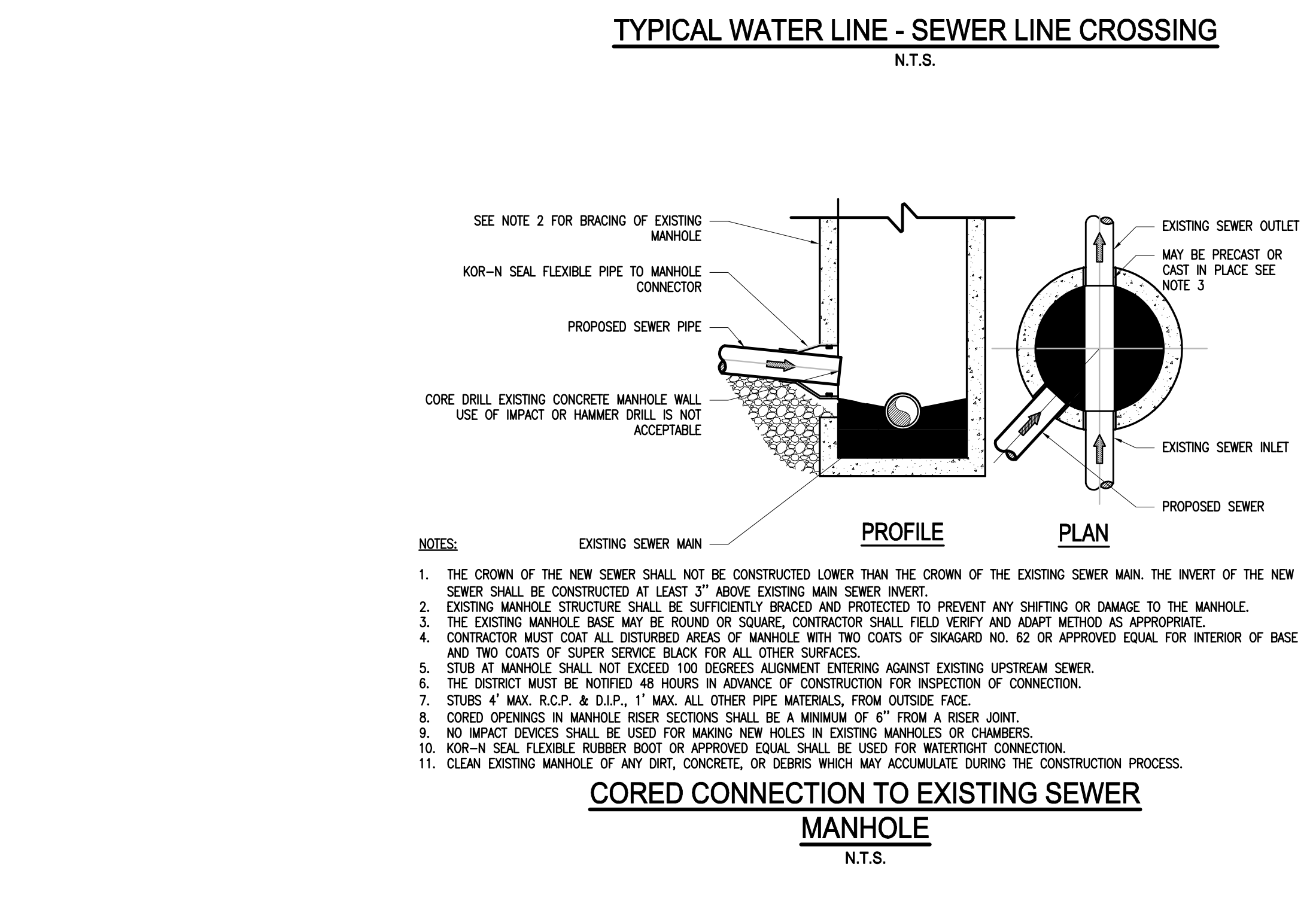
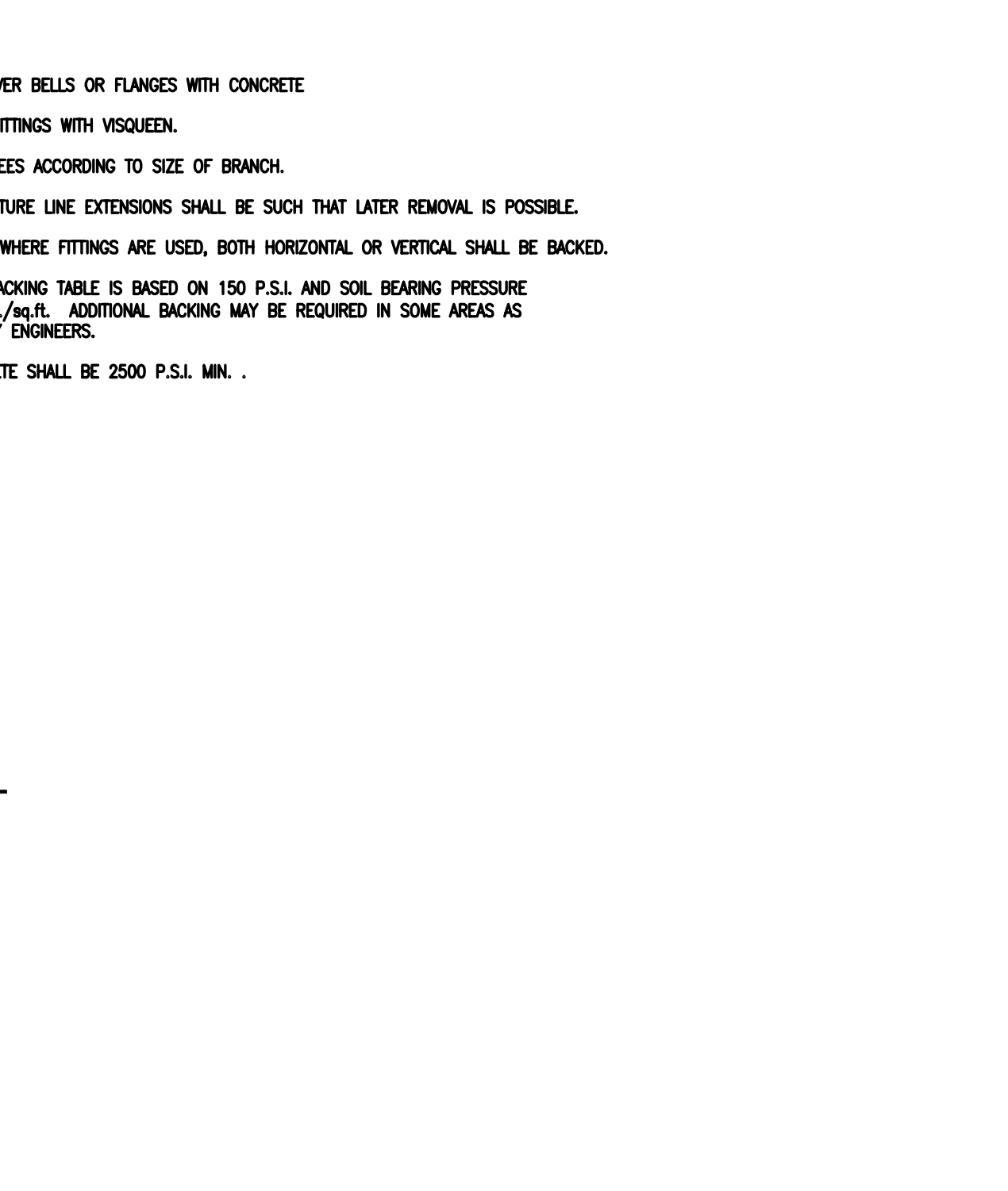
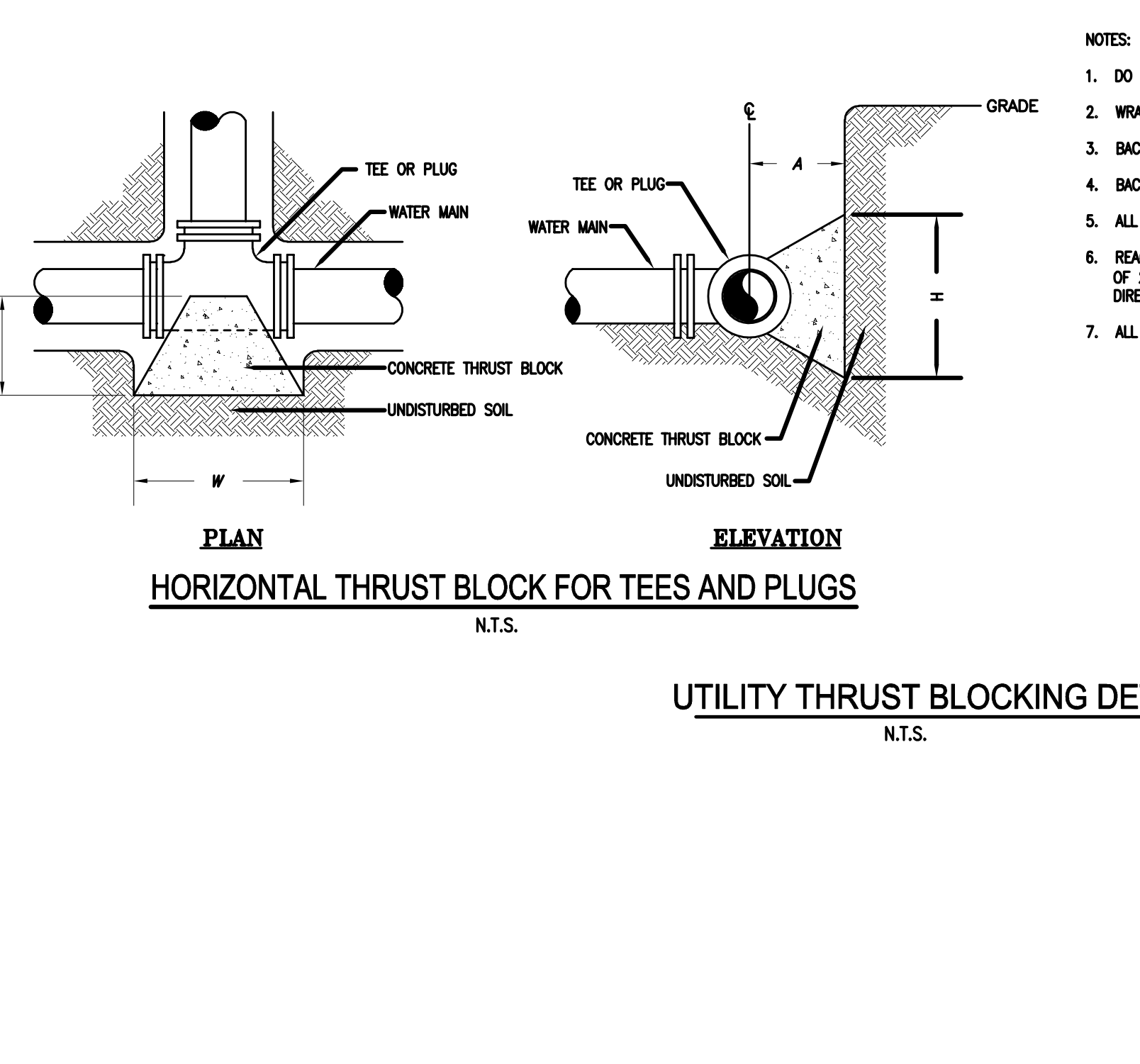
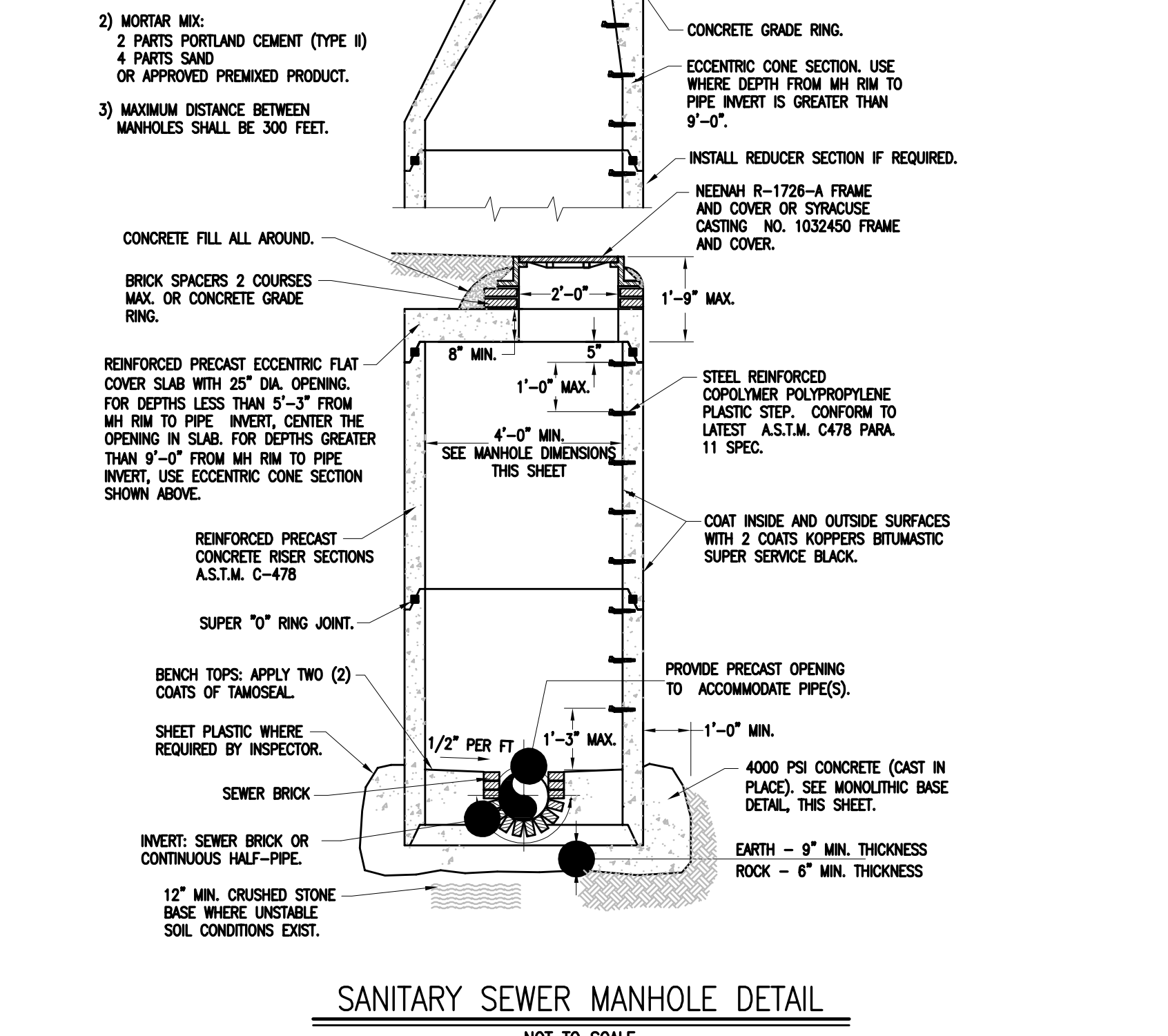
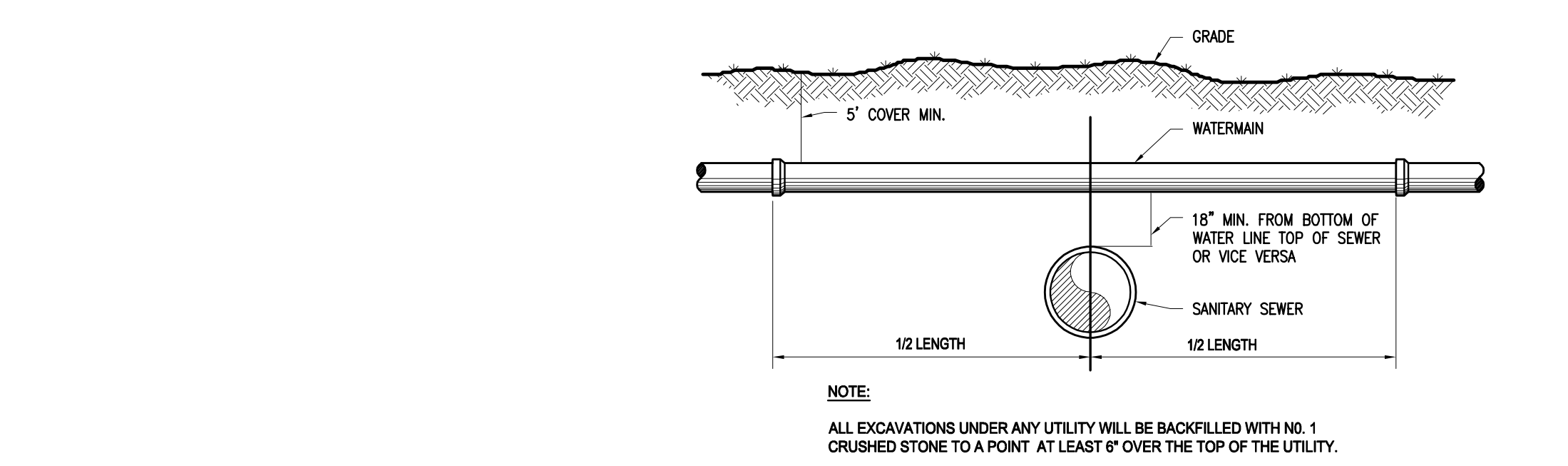
* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



FITTING	H	W	A
8" x 11-1/4" BEND	1.5	2.0	2.0
8" x 22-1/2" BEND	1.5	2.0	2.0
8" x 45" BEND	2.0	3.0	3.0
8" x 90" BEND	3.0	3.5	3.0
8" TEE OR PLUG	2.0	4.0	3.5
12" x 11-1/4" BEND	1.5	2.0	2.0
12" x 22-1/2" BEND	2.0	3.0	3.0
12" x 45" BEND	3.0	4.0	3.5
12" x 90" BEND	4.0	5.5	5.0
12" TEE OR PLUG	4.0	4.0	3.5

NOTE: WIDTH (W) OF BLOCK SHALL NOT EXCEED TWICE THE HEIGHT (H).

* COMPLETE ONLY THOSE DIMENSIONS FOR EACH TYPE OF FITTINGS THAT WILL ACTUALLY BE INSTALLED.



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Project Manager	Design
B. Bolt	B. Bolt
T. Bolt	T. Bolt

August 10, 2021

MISCELLANEOUS DETAILS

C501